



TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

www.exeternh.gov

PUBLIC NOTICE EXETER CONSERVATION COMMISSION Monthly Meeting

The Exeter Conservation Commission will meet in the Nowak Room, Exeter Town Offices at 10 Front Street, Exeter on **Tuesday, April 8th, 2025 at 7:00 P.M.**

Call to Order:

1. Introduction of Members Present
2. Public Comment

Action Items:

1. Tree Committee Report (*Eileen Flockhart*)
2. Site Plan Review and Wetland Conditional Use Permit for a 6,200 SF. addition for Dade Auto Holdings Realty Trust (d/b/a Volvo Cars of Exeter) at 140 Portsmouth Avenue (Tax Map Parcel #52-108 and #51-1. Planning Board Case 25-2 (*Corey Belden, Altus*))
3. Event Request for Raynes Barn for a Farm to Table event in May 2025 (*Ben Anderson*)
4. 2025 Trail Committee Meeting
5. Letter of support for the GBPP Stewardship Grant
6. Committee Reports
 - a. Property Management
 - i. Raynes Farm Stewardship Committee Meeting Report: ADA parking, pollinator garden, pumpkins with LSS
 - b. Outreach Events
 - i. Potential Full Moon Hike at Raynes April 10th
 - ii. Hike Exeter Update
 - iii. Alewife Festival CC Table Planning (2025 is 60th anniversary of the Exeter CC)
 - iv. 4/15 Town wide Trash Clean Up
 - v. 4/19 Exeter High School Trail Day 9:30-11:30
 - vi. 4/22 SST Morrissette Clean Up (rain date 4/23)
 - vii. 4/26 Styrofoam Collection Event 9-11
 - viii. 5/31 Great Bay Trout Unlimited River Festival at the YMCA (9-12 clean up Little River/Morrissette Clean Up 12-4) request for CC Collaboration and Tabling
 - c. Other Committee Reports (River Study, Sustainability, Energy, Tree, CC Roundtable)
7. Approval of Minutes: 3/11/25 Meeting
8. Correspondence

Other Business

9. Next Meeting: 5/13/25, Submission Deadline 5/2/25

Dave Short

Exeter Conservation Commission

Posted April 4th, 2025 Exeter Town Website and Town Office kiosk.

ZOOM Public Access Information:

Virtual Meetings can be watched on Ch 22 or Ch 6 and YouTube.

To access the meeting, click this link: <https://us02web.zoom.us/j/82203141636>

To access the meeting via telephone, call: +1 646 558 8656 and enter the Webinar ID: 822 0314 1636

Please join the meeting with your full name if you want to speak.

Use the "Raise Hand" button to alert the chair you wish to speak. On the phone, press *9.

More instructions for how to access the meeting can be found here:

<https://www.exeternh.gov/townmanager/virtual-town-meetings>

Contact us at extvg@exeternh.gov or 603-418-6425 with any technical issues.

**TOWN OF EXETER
PLANNING DEPARTMENT MEMORANDUM**

Date: April 4th, 2025
To: Conservation Commission Board Members
From: Kristen Murphy, Conservation & Sustainability Planner
Subject: April 8th Meeting

1. 140 Portsmouth Ave

The applicant has filed a wetland CUP to address the connection of onsite drainage to the existing stormwater detention pond. All remaining work is within the existing impervious footprint.

Suggested Motion:

_____ *We have reviewed the Wetland Conditional Use Permit application and ARE IN SUPPORT of the application (as proposed) (with the following amendments):*

_____ *We have reviewed the Wetland Conditional Use Permit application and ARE NOT IN SUPPORT of the application as noted below:*

2. Farm to Table Event at Raynes Barn

The Raynes Farm Stewardship Committee reviewed this project in concept and was supportive. The applicant, Ben Anderson will secure all required permits from the Health Department and otherwise.

Suggested Motion:

_____ *We have reviewed the event agreement and ARE IN SUPPORT of the application (as proposed) (with the following amendments):*

_____ *We have reviewed the event agreement and ARE NOT IN SUPPORT of the application as noted below:*

3. GBPP Stewardship Grant Application

I am preparing a grant application to offset mowing costs and enable us to better address invasive plant encroachment but did not have the application finalized at the time of this memo. I am seeking authorization for a letter of support from the Conservation Commission in the event one is necessary.

Suggested Motion:

_____ *Authorize the chair to sign a letter of support for the Great Bay Protection Partnership Stewardship Grants.*

Exeter Tree Committee Progress Report

Conservation Commission
April 2025

Exeter Tree Committee Progress Report

- *Committee Background*
- *Partners*
- *Accomplishments*
- *Future Goals*

Conservation Commission
April 2025

Committee Background

- *2017 Public Tree Inventory*
- *Citizens Concerned about Tree Health*
- *2019 Tree Committee Established*
 - *Subcommittee to Exeter Cons. Comm*
 - *9 Volunteer Members*
 - *1 Select Board Representative*
 - *Staff from 3 Departments*



Partners

- *SAU 16, Main & Lincoln Street Schools*
- *Unitil*
- *Rockingham County Forester*
- *Stratham Circle Nursery*
- *Arbor Day Foundation*
- *Private Donations - Tree Maintenance, Memorial Trees & Liberty Elm*





Accomplishments

- 2019 - Current: Tree City Designation
- 2021, 22, 23, 24: Growth Award for Excellence
- 2021: Tree Ordinance Adopted
- 2024: Tree Inventory and Dashboard
- Monthly Meetings
- >50 Trees Planted since 2020
- Multiple Events Hosted Annually



2025 Action Items

- Outreach for Tree Inventory Volunteers & Complete Inventory
- Plantings (12+, Scenic Road trees)
- Labels
- Maintenance
- Events

Tree Plantings & Labels



Events



Public Outreach



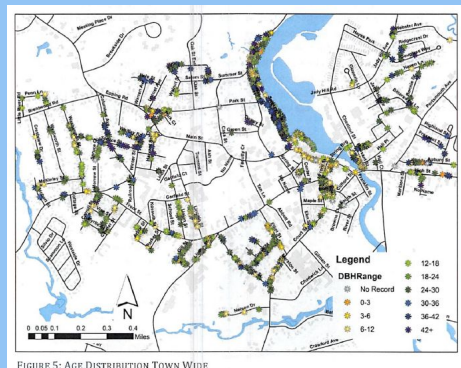
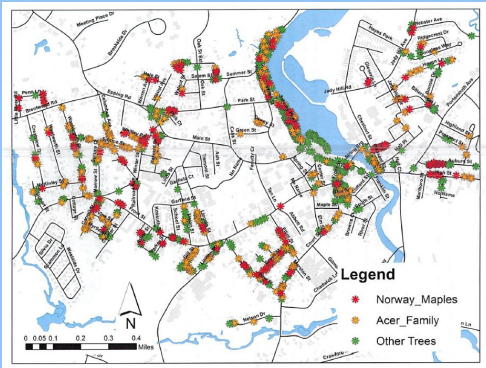
Future Goals

- Annual Tree City Designation & Growth Award Appln.
- Continue Plantings & Labels
- Continue Public Outreach/Education
- Ensure Diversity in Species and Age
- Improve Canopy & Update Street Tree Inventory Regularly
- Budget

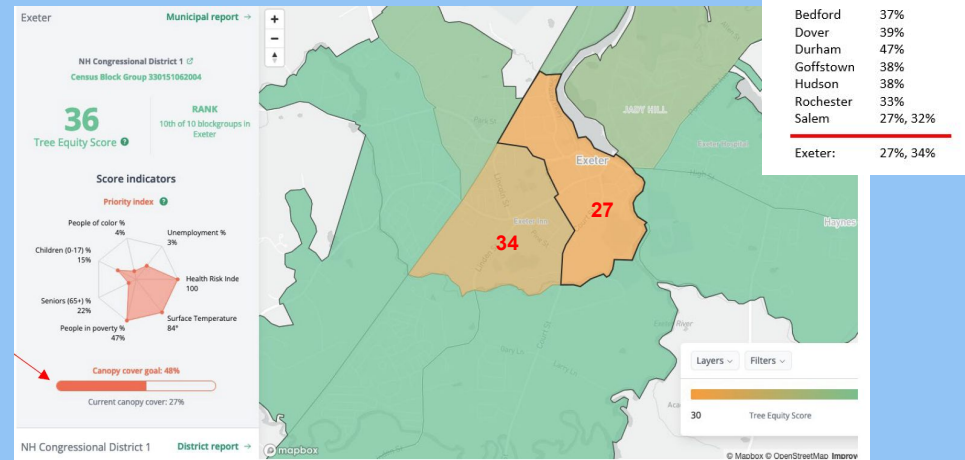
Future Goals: Tree Diversity

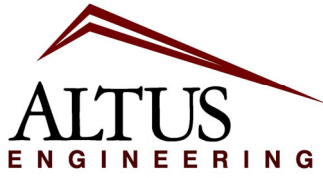
Species Diversity

Age Class Diversity



Future Goals: Tree Canopy 48%





Civil
Site Planning
Environmental
Engineering

133 Court Street
Portsmouth, NH
03801-4413

February 19, 2025

Town of Exeter
Planning Board / Technical Review Committee
10 Front Street
Exeter, NH 03833

**RE: Minor Site Plan Application (Case #25-2)
Volvo Cars of Exeter - Service Center Expansion
Tax Map 52, Lot 108/Tax Map 51, Lot 1
Altus Project P5625**

Dear Board and Committee Members,

On behalf of Dade Auto Holdings Realty Trust (DAH), Altus Engineering, LLC (Altus) is pleased to submit the attached Application for a Minor Site Plan Review to construct an automobile service center expansion at the existing Volvo dealership and service center located at 140 Portsmouth Avenue. The property is identified on the Exeter Assessors Maps as Tax Map 52, Lot 108 and Tax Map 51, Lot 1 in the Highway Commercial (C-2) zoning district and is approximately 2.92 acres in size (two lots). The new building expansion will be located on the north "back" side of the existing Volvo building and completely within existing pavement area. Therefore, the proposed improvements will have no increase to the impervious area for the site. Per town stormwater regulations for redevelopment (Section 9.3.2.4), the existing site is over 60% impervious area and requires treatment to 30% of the existing impervious area and 43% is provided. Treatment is provided by modifying and directing additional flows to the existing stormwater wet pond that was constructed in 2020 during the last site improvements. Temporary impacts within the wetland buffer are proposed to construct a new drain line to the wet pond and reconstruct a portion of the existing parking lot, which total approximately 375 square feet.

Included in the application materials, please find the following: Five (5) copies of the full size plans, and supporting materials, and two copies of the drainage report for the Technical Review Committee.

1. Site Review Application, Checklists, and Fee
2. Letter of Authorization
3. Conditional Use Permit – Wetlands Conservation District
4. Abutter List and Mailing labels
5. Letter of Explanation
6. Parking Calculations
7. Site Cost Estimate
8. Autoturn Truck Turning Templates
9. Drainage Report / Stormwater Inspection and Maintenance Manual (2 hard copies)
10. Project Plans (22" x 34")

If you have any questions, please do not hesitate to contact us.

Sincerely,
Cory D. Belden, PE

A handwritten signature in blue ink, appearing to read "Cory Belden".

ECopy: Dan Enxing / Dade Auto Holdings Realty Trust

Town of Exeter



Planning Board Application for Conditional Use Permit: Wetlands Conservation Overlay District

March 2020

**Town of Exeter
 Planning Board Application
 Conditional Use Permit: Wetland Conservation Overlay District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

The proposed project will have two temporary impact areas within the 75 ft wetland buffer to
 1) reconstruct a portion of the existing parking lot (210 sf), and
 2) reconstruct a drainage line to the existing wet pond (165 sf)

These impact areas will be restored to existing grade and conditions upon completion of the work.

There will be no new permanent impacts for impervious areas within the wetland buffer limits.

(SEE DRAINAGE AND GRADING PLAN, SHEET C-3 FOR IMPACT AREAS)

Wetland Conservation Overlay District Impact (in square footage):

Temporary Impact	Wetland:	(SQ FT.)	Buffer:	(SQ FT.)
	<input type="checkbox"/> Prime Wetlands	_____	<input type="checkbox"/> Prime Wetlands	_____
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands	_____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF)	_____
	<input type="checkbox"/> VPD	_____	<input checked="" type="checkbox"/> VPD	<u>375 sf</u>
	<input type="checkbox"/> PD	_____	<input type="checkbox"/> PD	_____
	<input type="checkbox"/> Inland Stream	_____	<input type="checkbox"/> Inland Stream	_____
Permanent Impact	Wetland:		Buffer:	
	<input type="checkbox"/> Prime Wetlands	_____	<input type="checkbox"/> Prime Wetlands	_____
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands	_____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF)	_____
	<input type="checkbox"/> VPD	_____	<input type="checkbox"/> VPD	_____
	<input type="checkbox"/> PD	_____	<input type="checkbox"/> PD	_____
	<input type="checkbox"/> Inland Stream	_____	<input type="checkbox"/> Inland Stream	_____

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

None

Describe how the proposal meets conditions in **Article 9.1.6.B** of the Zoning Ordinance (attached for reference):

See Attachment - A

9.1.6. B: Conditions: Prior to issuance of a conditional use permit, the Planning Board shall conclude and make a part of the record, compliance with the following criteria:

1. That the proposed use is permitted in the underlying zoning district;
2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;
3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.
4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;
5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;
6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland
7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.
8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.;

Attachment A

CONDITIONAL USE PERMIT APPLICATION

Detailed Proposal including intent, project description, and use of property:

Dade Auto Holdings Realty Trust (DAH) is proposing to construct an automobile service center expansion at the existing Volvo dealership and service center located at 140 Portsmouth Avenue. The property is identified on the Exeter Assessors Maps as Tax Map 52, Lot 108 and Tax Map 51, Lot 1 in the Highway Commercial (C-2) zoning district and is approximately 2.92 acres in size (two lots). The new building expansion will be located on the north side of the existing building and completely within the existing pavement area. Therefore, the proposed improvements will have no increase to the impervious area for the site.

Per town of Exeter stormwater regulations for redevelopment (Section 9.3.2.4), the existing site is over 60% impervious area and requires treatment of 100% of all new impervious areas and 30% of the existing impervious area. A stormwater wet pond was constructed in 2020 to provide treatment to a portion of the site. This project will direct the flows from the new building and pick up roof drains from the existing buildings to direct additional flows to the wet pond. The outlet structure will be modified (raised 1 ft) to provide additional treatment capacity to the wet pond. The proposed stormwater improvements will provide treatment to 43% of the existing site impervious area.

Temporary impacts within the wetland buffer are proposed to construct a new drain line to the wet pond and reconstruct a portion of the existing parking lot, which total approximately 375 square feet.

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

None

Describe how your proposal meets the conditions of Article 9.1.6.B of the Town of Exeter Zoning Ordinance:

1. That the proposed use is permitted in the underlying zoning district;

The project involves expansion of an existing conforming use within the C-2 zoning district.

2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;

The site is an existing developed site with an existing building, site improvements, and utilities. The proposed building addition will not encroach in the wetlands buffer. The only impacts in the buffer will be to direct flows to the existing stormwater management system for treatment and to reconstruct a portion of the existing parking located within the wetland buffer.

3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.

The proposed impacts are minor and temporary. The improvements will provide an increase in the amount of runoff from the site that is treated prior to discharging to the wetlands, which will result in an improved condition.

4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer.

The proposed site will provide additional stormwater management and treatment to an existing site. There will be no direct impacts to the wetlands. The combination of providing additional stormwater treatment and restoring the buffer areas to the original conditions will minimize any detrimental impacts on the wetland or wetland buffer.

- 5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;**

There are no direct impacts to the wetlands. The site is an existing developed site. The wetland buffer will be maintained and treatment will be provided to additional impervious areas. The function and value of the wetland should not be impacted and the project will not create a hazard to individual or public health, safety or welfare.

- 6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland;**

The proposed impacts are minor and temporary and will be restored to the original condition and grade. No additional wetland buffer areas are proposed.

- 7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, that the landowner agrees to restore the site as nearly as possible to its original grade and condition following construction;**

The landowner proposes and agrees to restore the temporary impact areas to the original grade and condition following construction.

- 8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.**

There are no direct impacts to wetlands, therefore, does not require a New Hampshire Department of Environmental Services Permit required under RSA 482-A or a United States Army Corps of Engineers Permit as required under Section 404 of the Clean Water Act. The proposed project does not occur within the 250-foot protected shoreland, as regulated under the Comprehensive Shoreland Protection Act (RSA 483-B), and does not require a permit.

Minor Site Plan Application

Volvo Cars of Exeter Service Center Expansion

140 PORTSMOUTH AVENUE
EXETER, NEW HAMPSHIRE

TAX MAP 52, LOT 108 &
TAX MAP 51, LOT 01

ISSUED FOR PLANNING BOARD

THIS DRAWING SET HAS NOT BEEN RELEASED FOR CONSTRUCTION

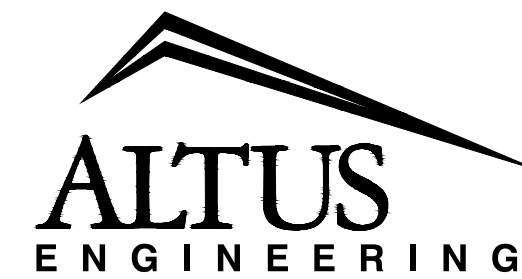
Plan Issue Date:

FEBRUARY 19, 2025

Owner/Applicant:

Dade Auto Holdings Realty Trust
140 Portsmouth Avenue
Exeter, NH 03833

Civil Engineer:



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Architect:



27 Warren Street Concord NH 03301
T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

Surveyor:



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com



LOCUS

NOT TO SCALE

Sheet Index
Title

Sheet No.:	Rev.	Date
S-1	0	10/30/24
S-2	0	10/30/24
C-1	0	02/19/25
C-2	1	02/19/25
C-3	0	02/19/25
D-1	0	02/19/25
D-2	0	02/19/25
D-3	0	02/19/25
A01	0	02/12/25
A02	0	02/12/25

PERMIT APPROVAL NOTES:

CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL REGULATORY APPROVALS HAVE BEEN RECEIVED.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH ALL CONDITIONS OF THE APPROVALS.

LEGEND:

Table with 2 columns: Symbol and Description. Includes items like AC (AIR CONDITIONER), B.G. (BELOW GRADE), CBF (CONCRETE BOUND "NHHD" FOUND), etc.

Table with 2 columns: Symbol and Description. Includes items like -5.0 (LIMIT OF TOPOGRAPHIC SURVEY), 11.0 (LIMIT OF TOPOGRAPHIC SURVEY), etc.

EASEMENT NOTES:

- 1. MAP 51 LOTS 3.3 & 3.4 ARE SUBJECT TO THE SLOPE EASEMENTS AND DRAINAGE EASEMENT AS RECORDED IN RCRD BK.#3200 PG.#2270 (SEE ALSO PLAN REFERENCE 12).

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN FEBRUARY 2022 & SEPTEMBER 2024. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.



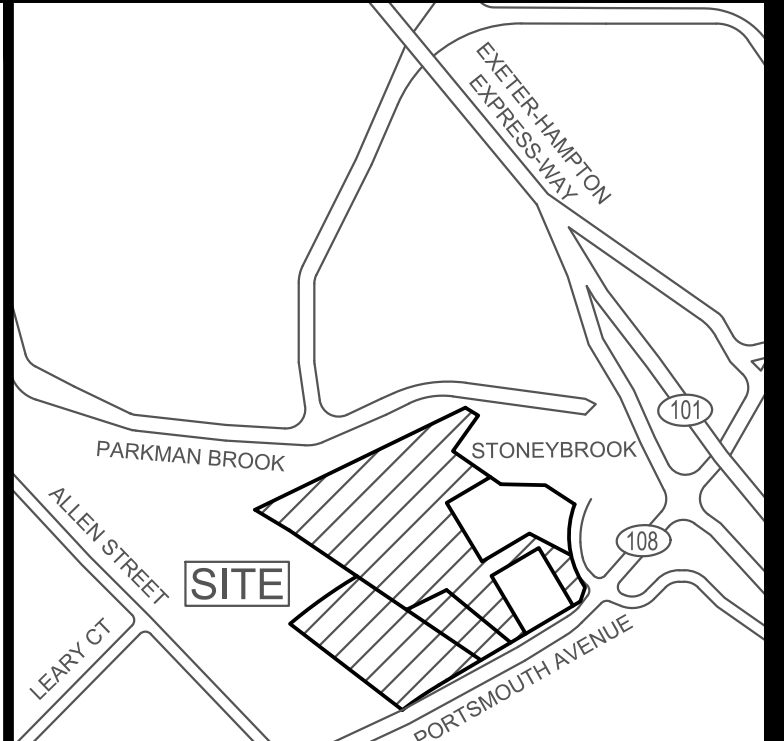
2024-10-30 DATE

LICENSED LAND SURVEYOR

TOWN OF EXETER SHORELAND DISTRICT NOTE:

THE EXETER 300' SHORELAND DISTRICT LINE AND EXETER 150' SHORELAND PROTECTION BUILDING SETBACK LOCATIONS SHOWN HEREON ARE SUBJECT TO CHANGE. THIS PLAN SHOWS A PRELIMINARY BOUNDARY SUBJECT TO VERIFICATION OF SOIL DISCONTINUITY PER EXETER SHORELAND DEFINITION IN THE ZONING REGULATIONS.

LOCATION PLAN



NOTES:

- 1. THE PARCELS ARE LOCATED IN THE C-2 HIGHWAY COMMERCIAL ZONING DISTRICT AND PARTIALLY WITHIN THE EXETER SHORELAND PROTECTION DISTRICT (SEE TOWN OF EXETER SHORELAND DISTRICT NOTE), THE WETLANDS CONSERVATION DISTRICT AND THE FLOODPLAIN DEVELOPMENT OVERLAY DISTRICTS & THE NHDES SHORELAND PROTECTION ZONE.

MAP 51 LOTS 1 & 3.4 AND MAP 52 LOT 108 EXISTING CONDITIONS PLAN EXETER VOLVO 146, 0 & 140 PORTSMOUTH AVENUE EXETER, NEW HAMPSHIRE COUNTY OF ROCKINGHAM OWNED BY DADE AUTO HOLDINGS REALTY TRUST

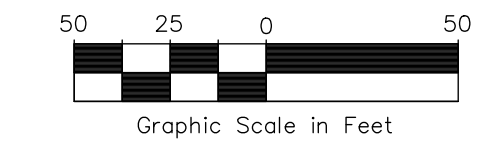
SCALE: 1" = 50' (22x34) 1" = 100' (11x17) OCTOBER 30, 2022

Table with columns: S, DR, M, FB, 541, S-1. Includes TFM logo and contact information for Seacoast Division.

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

Table with columns: REV, DATE, DESCRIPTION, DR, CK.

2024-10-30 12:57pm W:\T\M-BED\FOR\DA\Projects\Civil\Survey\ITM Projects\45894-30 Warrenstreet - Exeter Volvo\45894-30 Survey.dwg

Oct 30, 2024 - 12:57pm
 \\TFM-BEDFORD\Projects\Civil\Survey\TFM Projects\45894\Portsmouth Ave, Exeter, NH\45894-30 Warrenstreet - Exeter Volvo\Carlson Survey\Drawings\45894-30 Survey.dwg

WETLANDS NOTE:

IN MAY AND JUNE OF 2022, CYNTHIA M. BALCIUS CWS, CSS, CPESC OF STONEY RIDGE ENVIRONMENTAL LLC (SRE) COMPLETED A WETLAND DELINEATION REVIEW OF THE ABOVE REFERENCED SITE AND A VERNAL POOL ASSESSMENT. THE WETLAND DELINEATION REVIEW FOLLOWED THE EXISTING WETLAND DELINEATION COMPLETED IN 2021 BY OTHERS. SRE HAS CONCURRED, CONFIRMED AND REFRESHED THE WETLAND DELINEATION USING THE FOLLOWING STANDARDS:

- 1) UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE. 2016. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.0. L.M. VASILAS, G.W. HURT, AND J.F. BERKOWITZ (EDS.), USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND. VERSION 4. JUNE 2018. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) THE NATIONAL WETLAND PLANT LIST: 2016 WETLAND RATINGS. LICHVAR, R.W., D.L. BANKS, W.N. KIRCHNER, AND N.C. MELVIN. 2016. PHYTONEURON 2016-30: 1-17. PUBLISHED 28 APRIL 2016. ISSN 2153 733X.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL. JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION. JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS. ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR. FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.
- 8) NHDES WETLANDS RULES CHAPTERS100 THROUGH 900. ISSUED ON DECEMBER 15, 2019 AND AS AMENDED THROUGH APRIL 15, 2020.
- 9) RSA 482: A. THE STATE OF NEW HAMPSHIRE WETLAND STATUTE.

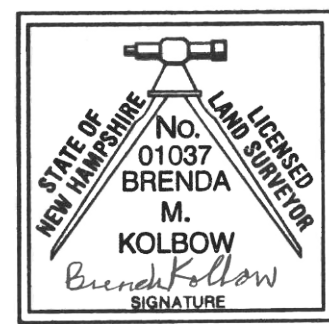
THE FOLLOWING REFERENCES WERE UTILIZED TO COMPLETE THE VERNAL POOL ASSESSMENTS AND THE WETLAND FUNCTION & VALUE ASSESSMENTS:

- 1) ARMY CORPS OF ENGINEERS HIGHWAY METHODOLOGY WORKBOOK SUPPLEMENT (APPENDIX A, USACE, SEPTEMBER 1999).
- 2) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR. FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.
- 3) IDENTIFYING AND DOCUMENTING VERNAL POOLS IN NEW HAMPSHIRE 3RD ED. 2016. NEW HAMPSHIRE FISH & GAME.
- 4) ARMY CORPS OF ENGINEERS "VERNAL POOL ASSESSMENT" DRAFT GUIDANCE, SEPTEMBER 10, 2013. APPENDIX L ARMY CORPS OF ENGINEERS NEW ENGLAND DISTRICT COMPENSATORY MITIGATION GUIDANCE.

PLAN REFERENCES:

1. "SUBDIVISION OF LAND EXETER, N.H. FOLGER J. & ANITA F. WENTWORTH" BY JOHN W. DURGIN ASSOCIATES, INC., DATED MAY 21, 1984. RCRD PLAN #D-13038.
2. "PLAN OF LAND STRATHAM & EXETER, N.H. FOR LIONEL R. LABONTE" BY DURGIN-SCHOFIELD ASSOCIATES", DATED DEC. 1987. RCRD PLAN #D-18051.
3. "PLAN OF PROPERTIES IN EXETER, NH NO. 59 PORTSMOUTH AVENUE ROCKINGHAM COUNTY PREPARED FOR: MCDONALD'S CORPORATION" BY GOLDEN LAND SURVEY, INC., DATED DECEMBER 3, 1994 REV. MARCH 29, 1995. RCRD PLAN #D-23862.
4. "LOT LINE ADJUSTMENT PLAN ASSESSORS MAP 9-02 LOT 32 & LOT 33 PORTSMOUTH AVE. - ROUTE 108 EXETER, NEW HAMPSHIRE PREPARED FOR GIBBS OIL COMPANY LIMITED PARTNERSHIP" BY MHF, INC. DATED JULY 18, 1996 WITH REVISION 2 DATED 9/30/96. RCRD PLAN #D-25278.
5. "WETLAND MITIGATION PLAN ASSESSORS MAP 9-02 LOT 32 & LOT 33 PORTSMOUTH AVE. - ROUTE 108 EXETER, NEW HAMPSHIRE PREPARED FOR GIBBS OIL COMPANY LIMITED PARTNERSHIP" BY MHF, INC. DATED NOVEMBER 21, 1996. RCRD PLAN #D-25387.
6. "LOT LINE ADJUSTMENT PLAN TAX MAP 51, LOT 3, STARRY BROOK CORPORATION AND TAX MAP 52, LOT 97, TOWN OF EXETER" BY LITTLE RIVER SURVEY COMPANY, DATED DECEMBER 1997. RCRD PLAN #D-26032.
7. "SUBDIVISION PLAN FOR USIS CORPORATION U.S. INVESTMENT SERVICES PORTSMOUTH AVENUE COUNTY OF ROCKINGHAM EXETER, NH." BY MILLETTE, SPRAGUE & COLWELL, INC." DATED JUNE 10, 1998, WITH REVISION 1, DATED 9/9/98. RCRD PLAN #D-26595.
8. "EASEMENT PLAN FOR MCDONALD'S CORP. PORTSMOUTH AVENUE/NH. ROUTE 108 COUNTY OF ROCKINGHAM EXETER, NH." BY MILLETTE, SPRAGUE & COLWELL, INC." DATED MAY 14, 1999, WITH REVISION 2, DATED 09/09/99. RCRD PLAN #D-28074.
9. "ALTA/ACSM LAND TITLE SURVEY OF ROLLINSFORD ASSOCIATES, LLC FOR MCDONALD'S CORP. PORTSMOUTH AVENUE/ROUTE 108 COUNTY OF ROCKINGHAM EXETER, NH." BY MILLETTE, SPRAGUE & COLWELL, INC." DATED APRIL 22, 1999, WITH REVISION 2, DATED 10/27/99. RCRD PLAN #D-28096.
10. "LOT LINE REVISION PORTSMOUTH AVENUE - NH ROUTE 108 EXETER, NEW HAMPSHIRE FOR THE RICHMOND COMPANY, INC." BY JAMES VERRA AND ASSOCIATES, INC., DATED 6/8/2000 WITH REVISION 4, DATED 4/29/2001. RCRD PLAN #D-30822.
11. "PLAN OF LAND VOLVO CARS OF EXETER TAX MAP 52 LOT 108 140 PORTSMOUTH AVENUE EXETER, NEW HAMPSHIRE" BY S.E.C. & ASSOCIATES, INC., DATED OCTOBER 06, 2017. RCRD PLAN #D-40467.
12. "PROPERTY ACQUIRED BY STATE OF NEW HAMPSHIRE FROM STARRY BROOK CORPORATION IN EXETER, N.H. ROCKINGHAM COUNTY DATE: FEB. 21, 1997.". SEE RCRD BK.#3200 PG.#2274 & BK.#3200 PG.#2275.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN FEBRUARY 2022 & SEPTEMBER 2024. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



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 48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

2024-10-30
 DATE

MAP 51 LOTS 1 & 3.4 AND MAP 52 LOT 108
NOTES
EXETER VOLVO
146, 0 & 140 PORTSMOUTH AVENUE
EXETER, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
DADE AUTO HOLDINGS REALTY TRUST

SCALE: NO SCALE OCTOBER 30, 2024

Seacoast Division

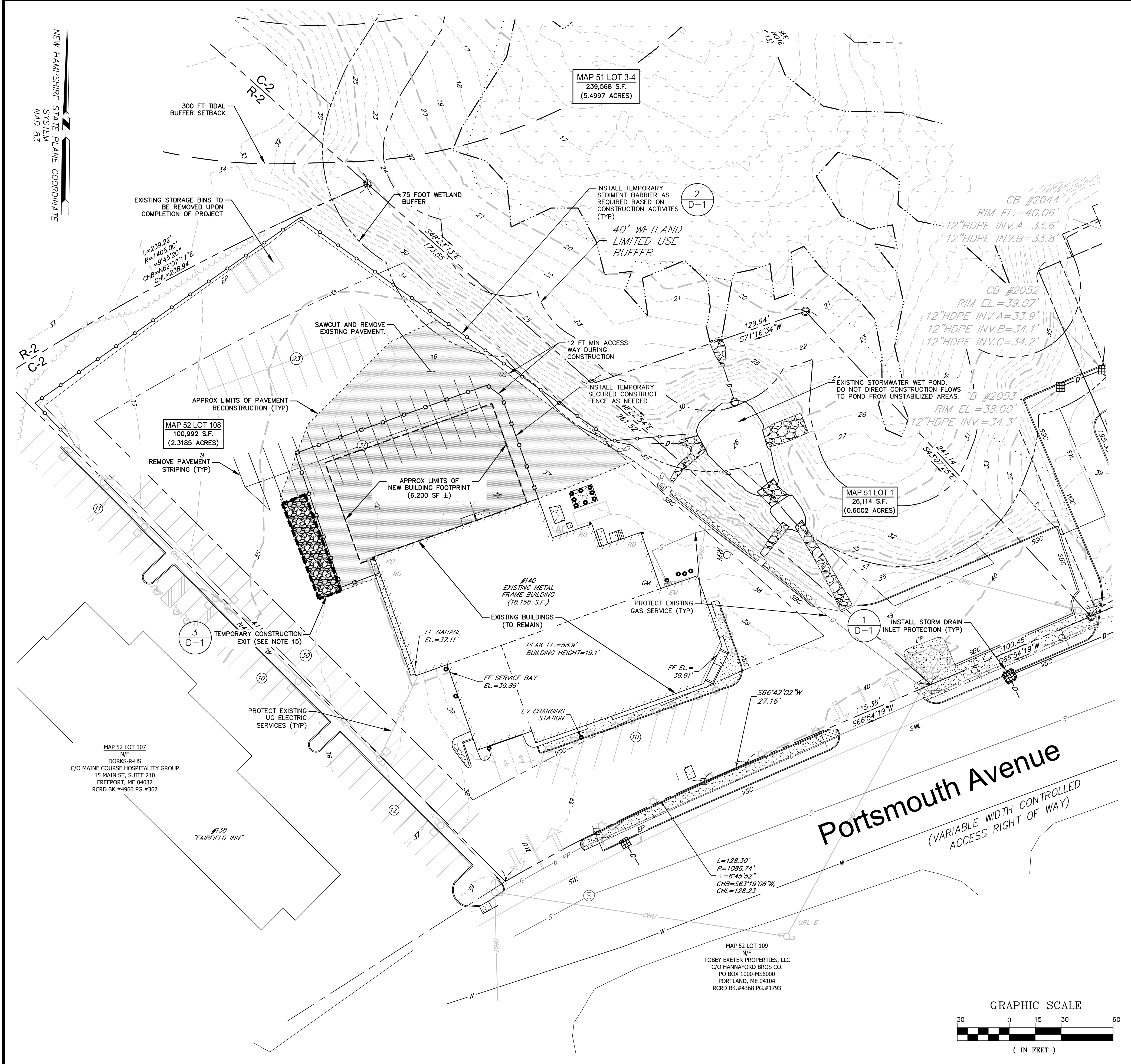
TFM

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

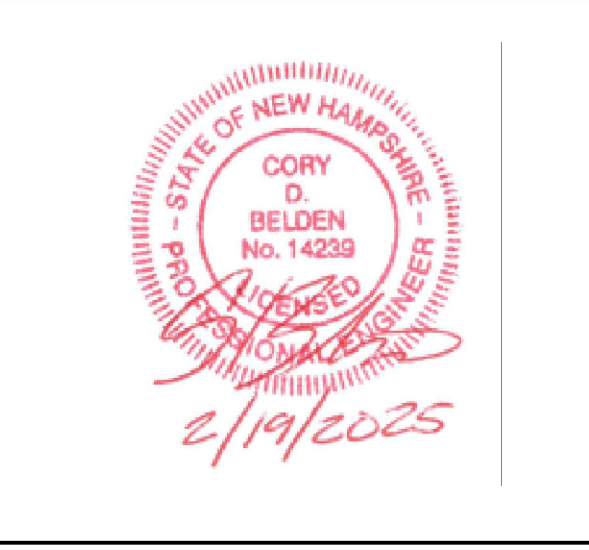
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		CK	BMK	CADFILE		

REV.	DATE	DESCRIPTION	DR	CK



CASE #25-2
TOWN OF EXETER PROJECT REFERENCE

ALTUS ENGINEERING
133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR: **PLANNING BOARD**

ISSUE DATE: **FEBRUARY 19, 2025**

REVISIONS
NO. DESCRIPTION BY DATE
0 INITIAL SUBMISSION CBD 02/19/25

DRAWN BY: _____ JMG
APPROVED BY: _____ CBD
DRAWING FILE: _____ 5625-site.dwg

SCALE:
22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

OWNER/APPLICANT:
Dade Auto Holdings Realty Trust
140 Portsmouth Avenue
Exeter, NH 03833

PROJECT:
VOLVO CARS OF EXETER SERVICE CENTER EXPANSION
TAX MAP 52, LOT 108
TAX MAP 51, LOTS 1
140 Portsmouth Avenue
Exeter, NH 03833

TITLE:
SITE PREPARATION PLAN

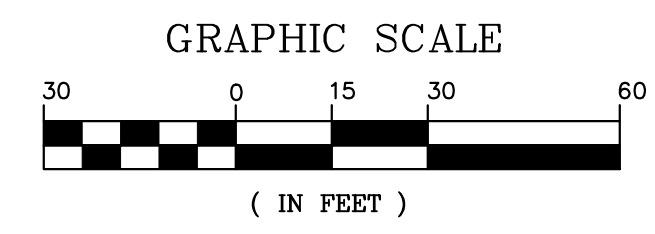
SHEET NUMBER:
C-1

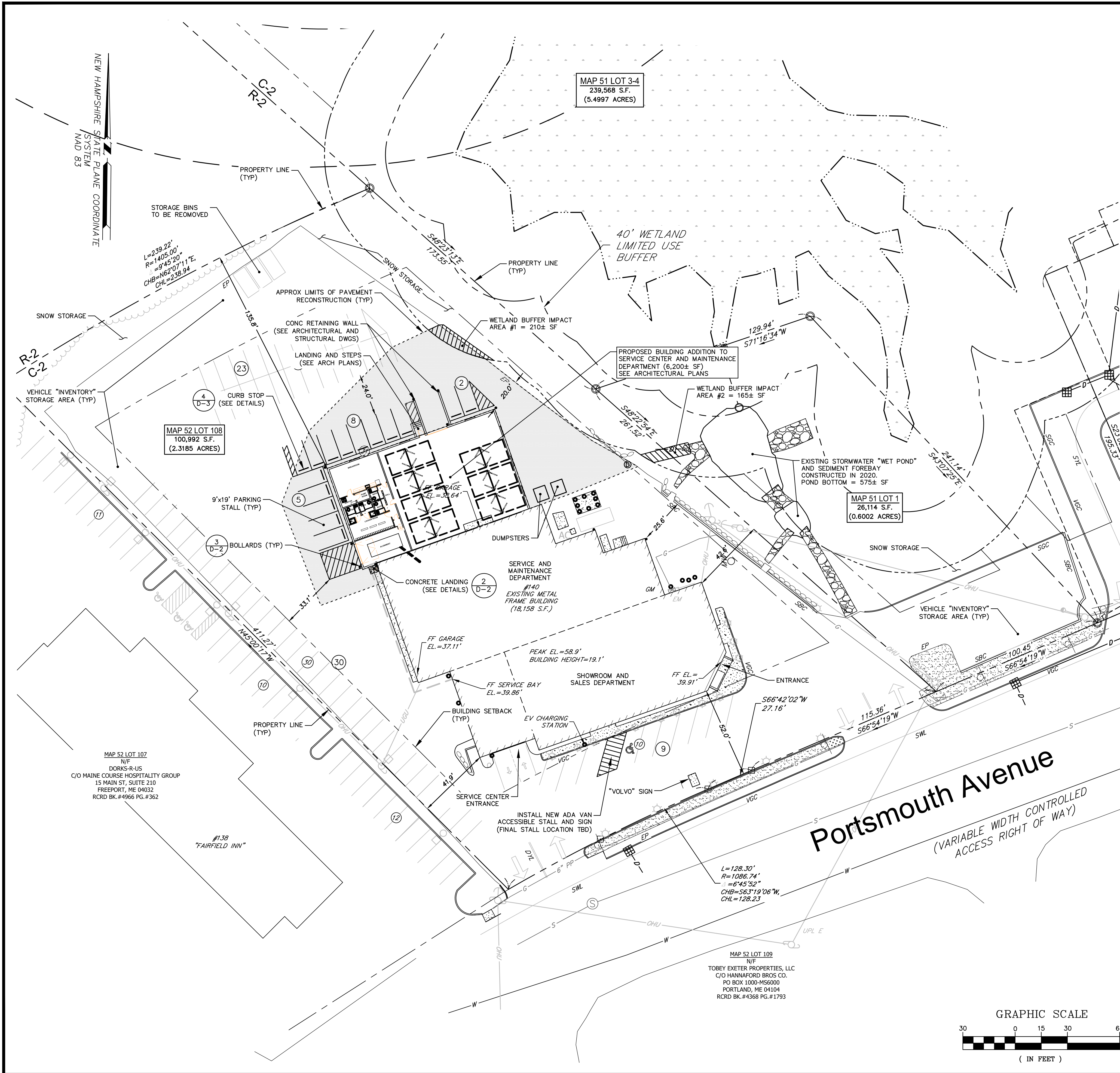
DEMOLITION NOTES:

- LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED. CONTRACTOR SHALL LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR AND/OR RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- MATERIAL TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- ANY DAMAGE BY THE CONTRACTOR DURING DEMOLITION AND/OR CONSTRUCTION SHALL BE REPAIRS OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR SHALL REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF THE WORK. ALL STUBS SHALL BE REMOVED AND SURFACES GRUBBED WITHIN THE LIMITS OF WORK.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE COORDINATED WITH THE TOWN OF EXETER DEPARTMENT OF PUBLIC WORKS AND POLICE DEPARTMENT IF WITHIN THE ROADWAY.
- CONTRACTOR SHALL PROTECT ALL FIELD STONE WALLS, FENCES, MAILBOXES, STRUCTURES, ETC. THROUGHOUT THE COMPLETION OF THE WORK.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION WORK. THIS INCLUDES SILT FENCE / SILT SOCK AND INLET PROTECTION BARRIERS.
- CONTRACTOR SHALL SAWCUT PAVEMENT AT EDGES OF TRENCHES FOR CLEAN VERTICAL EDGES.
- CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS ACCESS TO THE SITE THROUGHOUT CONSTRUCTION.
- PAVEMENT RECONSTRUCTION LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE AND REPRESENT A MINIMUM REQUIREMENT. ADDITIONAL RECONSTRUCTION MAY BE REQUIRED OR REQUESTED BY THE OWNER. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT RECONSTRUCTION.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, PAVEMENT, PIPES AND HEADWALLS LOCATED WITHIN THE LIMITS OF CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE UTILITIES. WORK ASSOCIATED WITH UTILITIES, BUT NOT LIMITED TO, RELOCATION OF UTILITY POLES.
- CONTRACTOR SHALL NOTIFY DIG-SAFE 72 HOURS PRIOR TO ANY WORK STARTING. CONTRACTOR REQUIRED TO MAINTAIN AN ACTIVE DIG-SAFE PERMIT THROUGHOUT THE DURATION OF CONSTRUCTION.
- TEMPORARY CONSTRUCTION EXIT LOCATION MAY CHANGE BASE ON CONTRACTOR MEANS AND METHODS AND OPERATIONS. CONTRACTOR SHALL LIMIT TRACKING OF SEDIMENTS FROM THE SITE BY CONSTRUCTION VEHICLES TO PORTSMOUTH AVE.
- ALL UTILITY SERVICES (SEWER, WATER, GAS, & ELECTRIC) WILL BE EXTENDED FROM THE EXISTING BUILDING TO THE PROPOSED ADDITION AND NO NEW EXTERNAL UTILITY SERVICES ARE REQUIRED.

LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- WETLAND BOUNDARY
- WETLAND SETBACK
- VGC SBC EXISTING CURB/ VERTICAL GRANITE OR SLOPED BIT CURB
- PROP. PAVEMENT
- 60--- EXISTING CONTOUR
- 60--- PROPOSED CONTOUR/INTERMEDIATE CONTOUR
- 100.00 PROPOSED SPOT GRADE
- W --- EXISTING WATER/CURB STOP/VALVE/HYDRANT
- S --- EXISTING SEWER/MANHOLE
- G --- EXISTING GAS/VALVE
- OHU --- EXIST. OVERHEAD/UNDERGROUND UTILITIES/POLE
- D --- EXISTING DRAINAGE/CB/DMH
- W --- PROPOSED THRUST BLOCK/CURB STOP/VALVE/HYDRANT
- PROPOSED DRAINAGE (HARD PIPE)/CB/DCB/DMH/FES
- PROPOSED CATCH BASIN INLET PROTECTION
- PROPOSED DRAINAGE (PERFORATED PIPE)/CLEANOUT
- 4% --- PROPOSED GROUND SLOPE/APPROX. GRADE
- SILTFENCE/SEDIMENT BARRIER/CONST. FENCE
- STABILIZED CONSTRUCTION EXIT
- PROPOSED LIMIT OF DISTURBANCE
- 44 --- PARKING COUNT
- PROPOSED RIPRAP



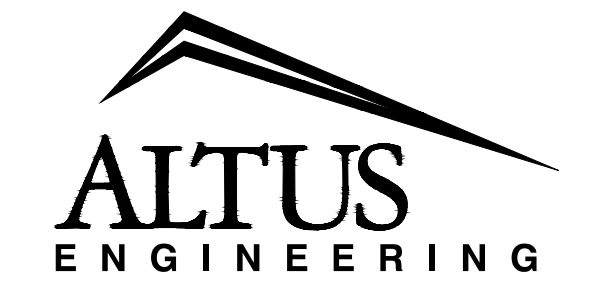


CASE #25-2

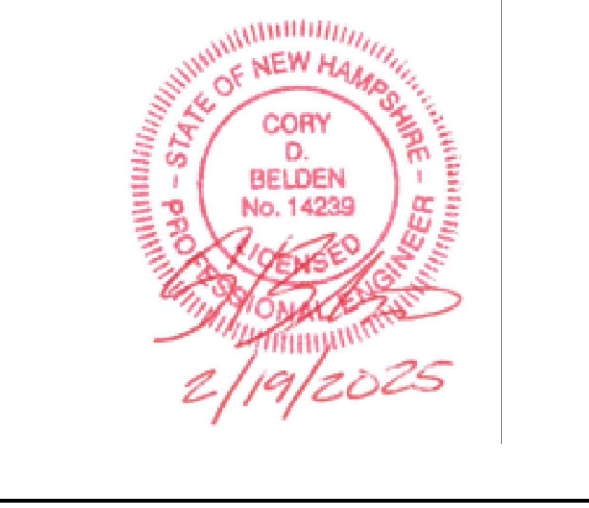
TOWN OF EXETER PROJECT REFERENCE

APPROVED FOR THE RECORD:

EXETER PLANNING BOARD DATE



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



SITE NOTES

- THE PARCELS ARE SHOWN ON THE TOWN OF EXETER ASSESSOR'S MAP AS TAX MAP 51, LOT 1 AND TAX MAP 52, LOT 108
- OWNER OF RECORD: PARCEL AREA:

MAP 51 LOT 1: DADE AUTO HOLDINGS REALTY TRUST DANIEL J. ENXING, TRUSTEE 140 PORTSMOUTH AVENUE EXETER, NH 03833 RCRD BK.5983 PG.#1921	26,114 S.F. (0.6002 ACRES)
MAP 52 LOT 108: DADE AUTO HOLDINGS REALTY TRUST DANIEL J. ENXING, TRUSTEE 140 PORTSMOUTH AVENUE EXETER, NH 03833 RCRD BK.5815 PG.#2471	100,992 S.F. (2.3185 ACRES)
- THE PARCELS ARE LOCATED IN THE C-2 HIGHWAY COMMERCIAL ZONING DISTRICT. THE 75 FOOT WETLANDS CONSERVATION DISTRICT BOUNDARY PARTIALLY EXTENDS ONTO EACH PARCEL.
- DENSITY AND DIMENSIONAL REGULATIONS: C-2

MINIMUM LOT AREA:	REQUIRED 20,000 S.F.	PROVIDED 100,992 S.F.
MINIMUM LOT WIDTH:	150'	228'±
MINIMUM LOT DEPTH:	100'	400'±
MINIMUM YARD SETBACKS:		
FRONT-	50'	52.0'±
SIDE-	20'	41.9'±
REAR-	50'	135.8'±
MAXIMUM STRUCTURE DIMENSIONS:		
BUILDING HEIGHT:	35'	< 35'
BUILDING COVERAGE:	30%	24.1%
MINIMUM OPEN SPACE:	15%	14.3%*

*EXISTING LOT COVERAGE IS 14.3% FOR LOT 52-108. NO INCREASE IN IMPERVIOUS AREA IS PROPOSED. THE COMBINED TWO LOT OPEN SPACE IS 26.5%.
- PARKING CALCULATIONS: (ALTERNATIVE PARKING CALCULATION PER 5.6.3.B.1)
 ITE 840 AUTOMOBILE SALES (NEW) = 7,010 SF x 2.29/1000 SF = 16.05
 ITE 943 AUTOMOBILE SERVICE CENTER = 17,348 SF x 1.79/1000 SF = 31.05
 TOTAL REQUIRED PARKING SPACES = 48 SPACES
 TOTAL PARKING SPACES PROVIDED = 77 SPACES
 NOTE: ADDITIONAL SPACES CAN BE ALLOCATED FOR CUSTOMER/EMPLOYEE PARKING AS NEEDED.
- HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS. THE VERTICAL DATUM IS NAVD88 PER STATIC GPS OBSERVATIONS. THE CONTOUR INTERVAL IS 1 FOOT.
- WETLANDS DEPICTED ON THIS PLAN WERE DELINEATED ON FEBRUARY 23, 2022 BY JASON R. AUBE CWS #313 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (JANUARY) AND THE REGIONAL SUPPLEMENT TO THE U.S. CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0 (JANUARY 2012).
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. ALTUS ENGINEERING MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- ALL WATER, SEWER, ROAD, AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE.
- COORDINATE ALL WORK WITHIN FIVE (5) FEET OF PROPOSED BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- ANY WORK THAT WILL IMPACT TRAFFIC ON PORTSMOUTH AVENUE SHALL BE COORDINATED WITH EXETER POLICE (LT STEVE BOLDUC AT SBOLDUC@EXETER.NH.GOV). ANY WORK WITHIN THE ROADWAY WILL REQUIRE TOWN EXETER POLICE DETAIL FOR TRAFFIC CONTROL AT THE OWNERS EXPENSE. CONTRACTOR SHALL COORDINATE WITH TOWN OF EXETER DPW AND POLICE DEPARTMENT FOR REQUIREMENTS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN HEREON. IF THERE IS NOT ADEQUATE ROOM FOR SNOW STORAGE IN AN EXTREME STORM EVENT, THEN SNOW SHALL BE REMOVED FROM THE SITE.
- ALL OF THE PROPOSED BUILDING IMPROVEMENTS WILL OCCUR WITHIN THE EXISTING PAVEMENT AREA. NO NEW IMPERVIOUS AREAS ARE PROPOSED.
- ALL UTILITY CONNECTIONS WILL BE EXTENDED INTERNALLY FROM THE EXISTING BUILDING. NO NEW EXTERNAL UTILITY SERVICES ARE PROPOSED.

NOT FOR CONSTRUCTION

ISSUED FOR: PLANNING BOARD

ISSUE DATE: FEBRUARY 19, 2025

REVISIONS
NO. DESCRIPTION BY DATE
0 INITIAL SUBMISSION CBD 02/19/25

DRAWN BY: JMG
APPROVED BY: CBD
DRAWING FILE: 5625-site.dwg

SCALE:
22" x 34" - 1" = XX'
11" x 17" - 1" = XX'

OWNER/APPLICANT:

Dade Auto Holdings Realty Trust
140 Portsmouth Avenue
Exeter, NH 03833

PROJECT:

VOLVO CARS OF EXETER
SERVICE CENTER
EXPANSION

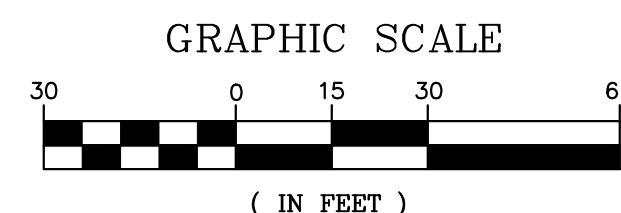
TAX MAP 52, LOT 108
TAX MAP 51, LOTS 1

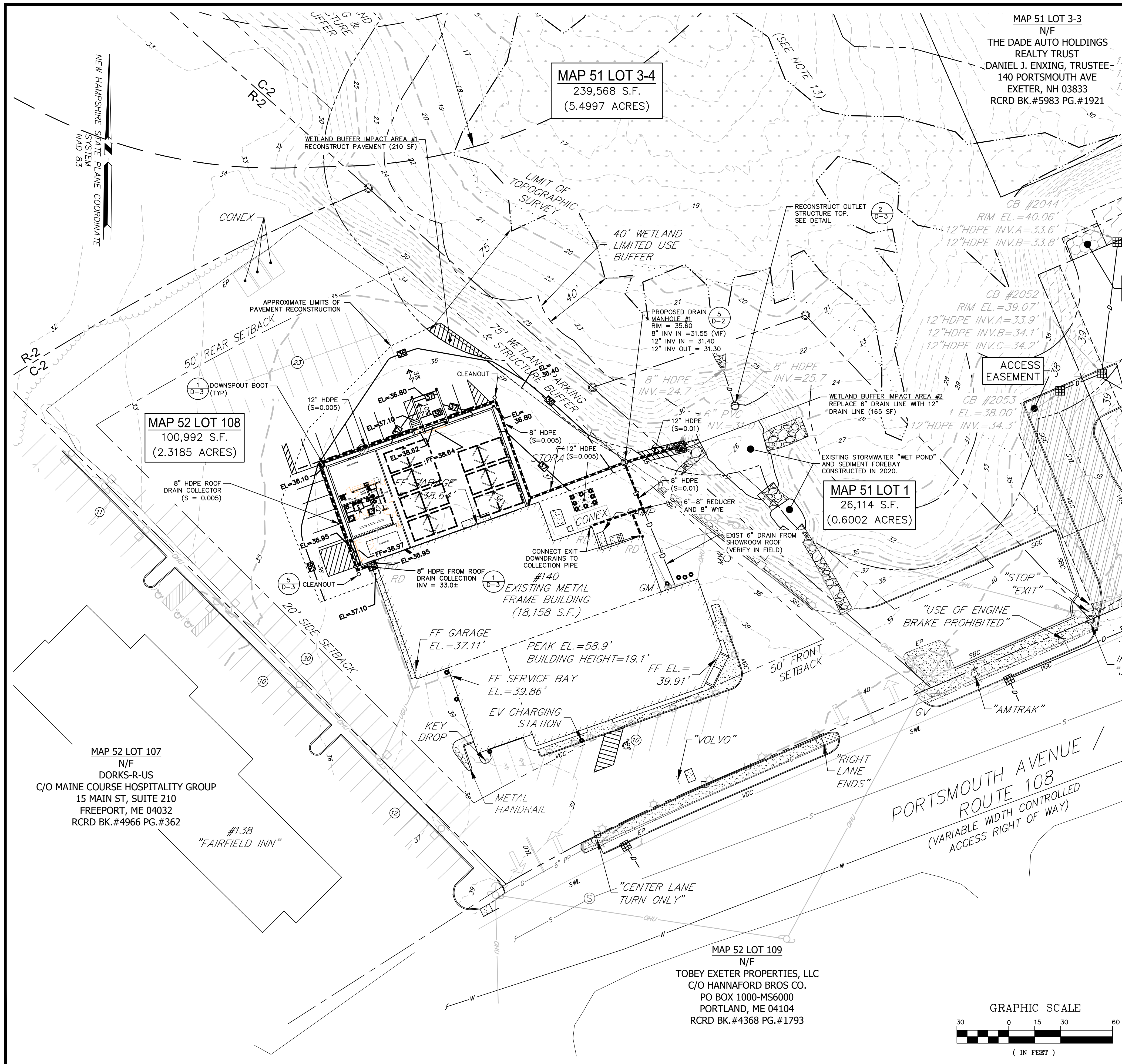
140 Portsmouth Avenue
Exeter, NH 03833

TITLE:

SITE PLAN
SHEET NUMBER:

C-2





CASE #25-2
TOWN OF EXETER PROJECT REFERENCE

MAP 51 LOT 3-3
N/F
THE DADE AUTO HOLDINGS
REALTY TRUST
DANIEL J. ENXING, TRUSTEE-
140 PORTSMOUTH AVE
EXETER, NH 03833
RCRD BK.#5983 PG.#1921

MAP 51 LOT 3-4
239,568 S.F.
(5.4997 ACRES)

MAP 52 LOT 108
100,992 S.F.
(2.3185 ACRES)

MAP 51 LOT 1
26,114 S.F.
(0.6002 ACRES)

MAP 52 LOT 107
N/F
DORKS-R-US
C/O MAINE COURSE HOSPITALITY GROUP
15 MAIN ST, SUITE 210
FREEPORT, ME 04032
RCRD BK.#4966 PG.#362

MAP 52 LOT 109
N/F
TOBEY EXETER PROPERTIES, LLC
C/O HANNAFORD BROS CO.
PO BOX 1000-MS6000
PORTLAND, ME 04104
RCRD BK.#4368 PG.#1793

- GRADING AND DRAINAGE NOTES**
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CONTRACTOR SHALL PAY CLOSE ATTENTION TO DRIVEWAY ENTRANCES.
 - EXISTING MANHOLES AND CATCHBASINS WITHIN LIMITS OF CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADES.
 - ALL WATER SHUT OFF VALVES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADES.
 - CONTRACTOR SHALL CLEAN ALL STRUCTURES WITHIN THE CONSTRUCTION LIMITS IMMEDIATELY UPON COMPLETION OF THE WORK. ALL SEDIMENT AND DEBRIS SHALL BE DISPOSED OF PER FEDERAL, STATE AND LOCAL REGULATIONS.
 - STORM DRAIN PIPING, UNLESS OTHERWISE NOTED, SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR APPROVED EQUAL).
 - PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/WATER SEPARATOR HOODS AND 2' SUMPS.
 - ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
 - CONTRACTOR SHALL PROVIDE THE FOLLOWING MINIMUM REQUIREMENTS FOR COMPACTION:

BELOW PAVEMENT AND CONCRETE AREAS:	95%
TRENCH BEDDING AND BACKFILL:	95%
BELOW LOAM AND SEED AREAS:	90%

 COMPACTION PERCENTAGES SHALL BE THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
 - ALL WATER, SEWER, ROAD, AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.5 GRADING, DRAINAGE, AND EROSION & SEDIMENT CONTROL AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER, NEW HAMPSHIRE. CONTRACTOR SHALL GRADE SLOPES TO THE LINES AND GRADES SHOWN ON THE PLANS. SLOPES STEEPER THAN 2:1 SHALL INCLUDE 6" RIP-RAP STONE FOR A DEPTH OF 18". SLOPES FROM 4:1 TO 2:1, CONTRACTOR SHALL PROVIDE A SLOPE STABILIZATION BLANKET.

ALTUS ENGINEERING

133 Court Street
(603) 433-2335

Portsmouth, NH 03801
www.altus-eng.com



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ISSUED FOR: **PLANNING BOARD**

ISSUE DATE: **FEBRUARY 19, 2025**

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	CBD	02/19/25

DRAWN BY: _____ JMG

APPROVED BY: _____ CBD

DRAWING FILE: _____ 5625-site.dwg

SCALE:
22" x 34" - 1" = XX'
11" x 17" - 1" = XX'

OWNER/APPLICANT:

Dade Auto Holdings Realty Trust
140 Portsmouth Avenue
Exeter, NH 03833

PROJECT:

VOLVO CARS OF EXETER SERVICE CENTER EXPANSION

TAX MAP 52, LOT 108
TAX MAP 51, LOTS 1

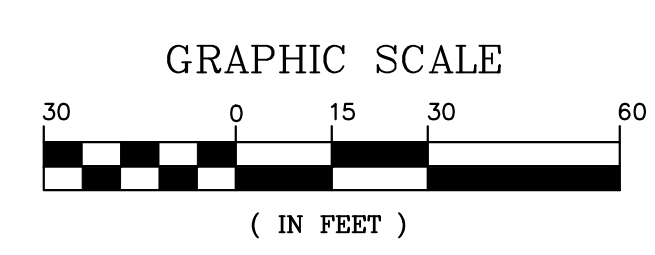
140 Portsmouth Avenue
Exeter, NH 03833

TITLE:

GRADING AND DRAINAGE PLAN

SHEET NUMBER:

C-3



SEDIMENT AND EROSION CONTROL NOTES

PROJECT NAME AND LOCATION

VOLVO DEALERSHIP SERVICE CENTER EXPANSION

Dade Auto Holdings Realty Trust
140 Portsmouth Avenue
Exeter, NH 03833

DESCRIPTION

The project consists of constructing an addition to the existing Volvo Dealership and Service Center facility on Portsmouth Avenue in Exeter. The existing showroom building and maintenance building will remain. See architectural drawings for building related items adjacent to the additions. Site improvements include parking lot reconstruction, re-grading, underground utilities, and storm water management.

DISTURBED AREA

The total area to be disturbed on the parcel and for the building addition, parking areas, drainage, and utility construction is approximately 18,500 SF± (less than 1-acre). The combined disturbed area does NOT exceed 43,560 SF (1 acre), thus a SWPPP will NOT be required for compliance with the USEPA-NPDES Construction General Permit. All local requirements for stormwater and erosion control during construction are still required.

NPDES CONSTRUCTION GENERAL PERMIT— exempt

Site disturbance is less than one acre, therefore Contractor is NOT required to prepare a Stormwater Pollution Prevention Plan (SWPPP) or file an NOI (Notice of Intent) in accordance with federal storm water permit requirements under the USEPA-NPDES Construction General Permit.

SEQUENCE OF MAJOR ACTIVITIES

THE FOLLOWING PROVIDES AN ANTICIPATED SEQUENCE OF CONSTRUCTION ACTIVITIES. ACTUAL SEQUENCE WILL DEPEND ON CONTRACTOR MEANS AND METHODS AND PROPOSED WORK PLAN.

- Hold a pre-construction meeting with City & stake holders.
- Install temporary erosion control measures, including drain inlet protection, sediment barriers, and stabilized construction exit/entrance as necessary for the initial phase of construction. Erosion control measures shall be maintained throughout construction for various phases of work.
- Remove pavement and structures intended to be removed within the work limits.
- Construct utility infrastructure. Rough grade lot to prepare for site development.
- Construct Foundations.
- Construct building addition framing.
- Construct pavement to binder course.
- Complete building addition interiors.
- Complete pavement wearing course.
- When all construction activity is complete and site is stabilized, remove all temporary erosion and sediment devices and all sediment that has been trapped by these devices.

NAME OF RECEIVING WATER

The site drains to a wetland that drains to Parkman Brook.

TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "New Hampshire Stormwater Manual, Volumes 1 - 3", issued December 2008, as amended. As indicated in the sequence of Major Activities, the silt fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area, silt fences and any earth/dikes will be removed once permanent measures are established.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site shall be filtered through hay bale barriers, stone check dams, and silt fences. All storm drain inlets shall be provided with hay bale filters or stone check dams. Stone rip rap shall be provided at the outlets of drain pipes and culverts where shown on the drawings.

Stabilize all ditches, swales, stormwater ponds, level spreaders and their contributing areas prior to directing flow to them.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion and sediment control measures shall be maintained until permanent vegetation is established.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

- The smallest practical portion of the site shall be denuded at one time, but in no case shall it exceed 5 acres at one time.
- All control measures shall be inspected at least once each week and following any storm event of 0.25 inches or greater.
- All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
- Built-up sediment shall be removed from silt fence or other barriers when it has reached one-third the height of the fence or bale, or when "bulges" occur.
- All diversion dikes shall be inspected and any breaches promptly repaired.
- Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
- The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
- All roadways and parking lots shall be stabilized within 72 hours of achieving finished grade.
- All cut and fill slopes shall be seeded/loamed within 72 hours of achieving finished grade.
- An area shall be considered stable if one of the following has occurred:
 - Base coarse gravel has been installed in areas to be paved;
 - A minimum of 85% vegetative growth as been established;
 - A minimum of 3 inches of non-erosive material such as stone or riprap has been installed;
- or —
- Erosion control blankets have been properly installed.
- The length of time of exposure of area disturbed during construction shall not exceed 45 days.

B. MULCHING

Mulch shall be used on highly erodible soils, on critically eroding areas, on areas where conservation of moisture will facilitate plant establishment, and where shown on the plans.

- Timing - In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this:
 - Apply mulch prior to any storm event. This is applicable when working within 100 feet of wetlands. It will be necessary to closely monitor weather predictions, usually by contacting the National Weather Service in Concord, to have adequate warning of significant storms.
 - Required Mulching within a specified time period. The time period can range from 21 to 28 days of inactivity on a area, the length of time varying with site conditions. Professional judgment shall be used to evaluate the interaction of site conditions (soil erodibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erosion on adjacent areas to choose an appropriate time restriction.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CON'T)

2. Guidelines for Winter Mulch Application -

Type	Rate per 1,000 s.f.	Use and Comments
Hay or Straw	70 to 90 lbs.	Must be dry and free from mold. May be used with plantings.
Wood Chips or Bark Mulch	460 to 920 lbs.	Used mostly with trees and shrub plantings.
Jute and Fibrous Matting (Erosion Blanket)	As per manufacturer Specifications	Used in slope areas, water courses and other Control areas.
Crushed Stone 1/4" to 1-1/2" dia.	Spread more than 1/2" thick	Effective in controlling wind and water erosion.
Erosion Control Mix	2" thick (min)	<ul style="list-style-type: none"> The organic matter content is between 80 and 100%, dry weight basis. Particle size by weight is 100% passing a 6" screen and a minimum of 70 % maximum of 85% passing a 0.75" screen. The organic portion needs to be fibrous and elongated. Large portions of silts, clays or fine sands are not acceptable in the mix. Soluble salts content is less than 4.0 mmhos/cm. The pH should fall between 5.0 and 8.0.

- Maintenance - All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied.

C. TEMPORARY GRASS COVER

- Seedbed Preparation - Apply fertilizer at the rate of 600 pounds per acre of 10-10-10. Apply limestone (equivalent to 50 percent calcium plus magnesium oxide) at a rate of three (3) tons per acre.
- Seeding -
 - Utilize annual rye grass at a rate of 40 lbs/acre.
 - Where the soil has been compacted by construction operations, loosen soil to a depth of two (2) inches before applying fertilizer, lime and seed.
 - Apply seed uniformly by hand, cyclone seeder, or hydroseeder (slurry including seed and fertilizer). Hydroseedings, which include mulch, may be left on soil surface. Seeding rates must be increased 10% when hydroseeding.
- Maintenance - Temporary seedings shall be periodically inspected. At a minimum, 95% of the soil surface should be covered by vegetation. If any evidence of erosion or sedimentation is apparent, repairs shall be made and other temporary measures used in the interim (mulch, filter barriers, check dams, etc.).

D. FILTERS

- Tubular Sediment Barrier
 - See detail.
 - Install per manufacturer's requirements.
- Silt Fence (if used)
 - Synthetic filter fabric shall be a pervious sheet of polypropylene, nylon, polyester or ethylene yarn and shall be certified by the manufacturer or supplier as conforming to the following requirements:

Physical Property	Test	Requirements
Filtering Efficiency	VIM-51	75% minimum

Tensile Strength at 20% Maximum Elongation*	VIM-52	Extra Strength 50 lb/lin in (min) Standard Strength 30 lb/lin in (min)
---	--------	---

Flow Rate	VIM-51	0.3 gal/sf/min (min)
-----------	--------	----------------------

* Requirements reduced by 50 percent after six (6) months of installation.

Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizer to provide a minimum of six (6) months of expected usable construction life at a temperature range of 0 degrees F to 120° F.

- Pasts shall be spaced a maximum of ten (10) feet apart at the barrier location or as recommended by the manufacturer and driven securely into the ground (minimum of 16 inches).
 - A trench shall be excavated approximately six (6) inches wide and eight (8) inches deep along the line of posts and upslope from the barrier.
 - When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least one (1) inch long, tie wires or hog rings. The wire shall extend no more than 36 inches above the original ground surfaces.
 - The "standard strength" filter fabric shall be stapled or wired to the fence, and eight (8) inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
 - When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of item (g) applying.
 - The trench shall be backfilled and the soil compacted over the filter fabric.
 - Silt fences shall be removed when they have served their useful purpose but not before the upslope areas has been permanently stabilized.
- Sequence of Installation - Sediment barriers shall be installed prior to any soil disturbance of the contributing upslope drainage area.
 - Maintenance -
 - Silt fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired if there are any signs of erosion or sedimentation below them. Any required repairs shall be made immediately. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water, the sediment barriers shall be replaced with a temporary stone check dam.
 - Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be replaced promptly.
 - Sediment deposits must be removed when deposits reach approximately one-third (1/3) the height of the barrier.
 - Any sediment deposits remaining in place after the silt fence or other barrier is no longer required shall be removed. The area shall be prepared and seeded.

e. Additional stone may have to be added to the construction entrance, rock barrier and riprap lined swales, etc., periodically to maintain proper function of the erosion control structure.

E. PERMANENT SEEDING -

- Bedding - stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 5" to prepare a seedbed and mix fertilizer into the soil.
- Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
 - Agricultural Limestone @ 100 lbs. per 1,000 s.f.
 - 10-20-20 fertilizer @ 12 lbs. per 1,000 s.f.
- Seed Mixture (See Landscape Drawings for additional information):
 - Lawn seed mix shall be a fresh, clean new seed crop. The Contractor shall furnish a dealer's guaranteed statement of the composition of the mixture and the percentage of purity and germination of each variety.
 - Seed mixture shall consist of
 - 1/3 Kentucky blue,
 - 1/3 perennial rye, and
 - 1/3 fine fescue.
 - Turf type tall fescue is unacceptable.
- Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt), etc.

WINTER CONSTRUCTION NOTES

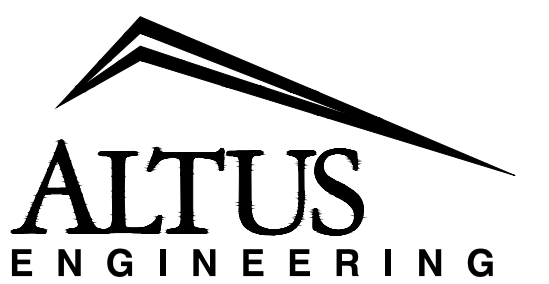
- All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
- All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
- After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3.

WINTER CONSTRUCTION NOTES

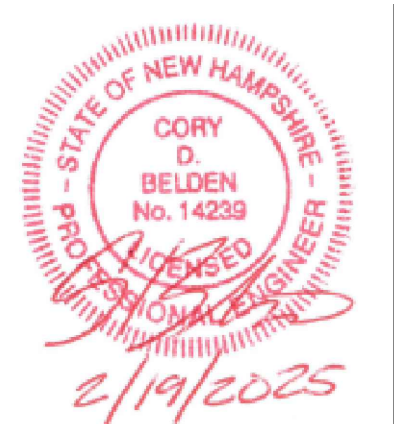
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CASE #25-2

TOWN OF EXETER PROJECT REFERENCE



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR: PLANNING BOARD

ISSUE DATE: FEBRUARY 19, 2025

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	CB	02/19/25

DRAWN BY: JMG

APPROVED BY: CBD

DRAWING FILE: 5625-site.dwg

SCALE: NOT TO SCALE

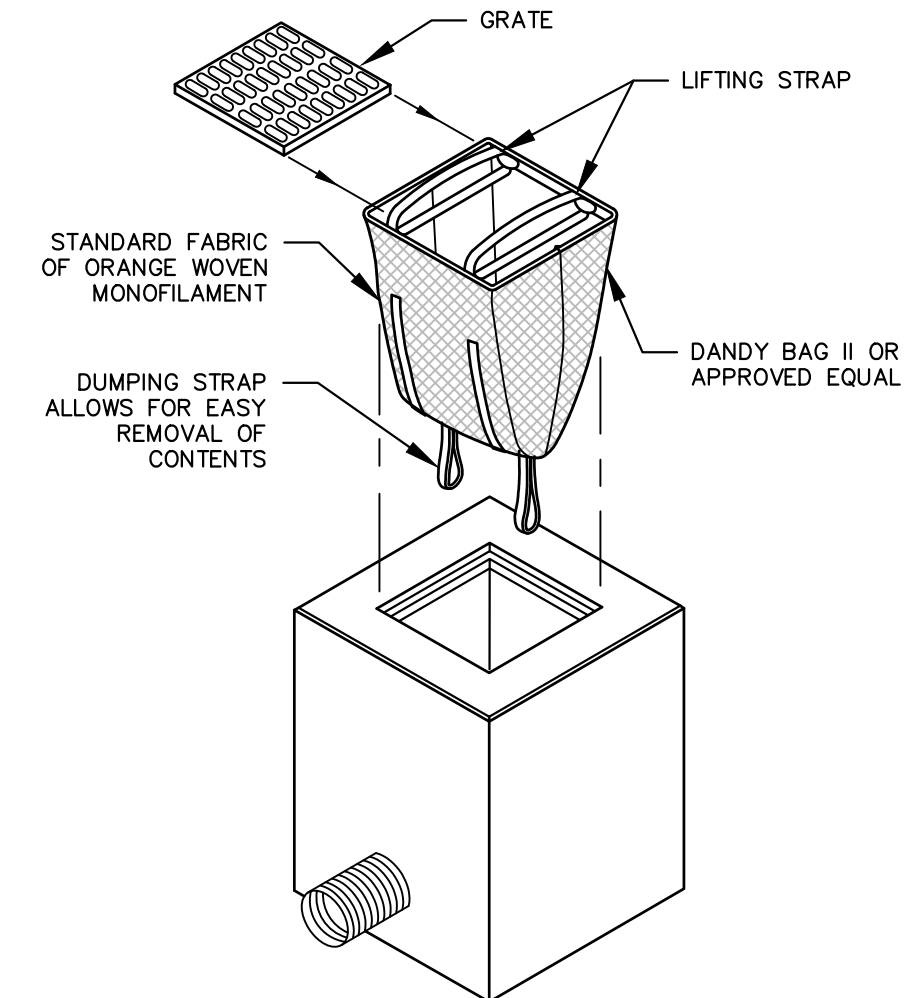
OWNER/APPLICANT: Dade Auto Holdings Realty Trust
140 Portsmouth Avenue
Exeter, NH 03833

PROJECT: VOLVO CARS OF EXETER SERVICE CENTER EXPANSION

TAX MAP 52, LOT 108
TAX MAP 51, LOTS 1
140 Portsmouth Avenue
Exeter, NH 03833

TITLE: DETAILS

SHEET NUMBER: D-1



INSTALLATION AND MAINTENANCE:

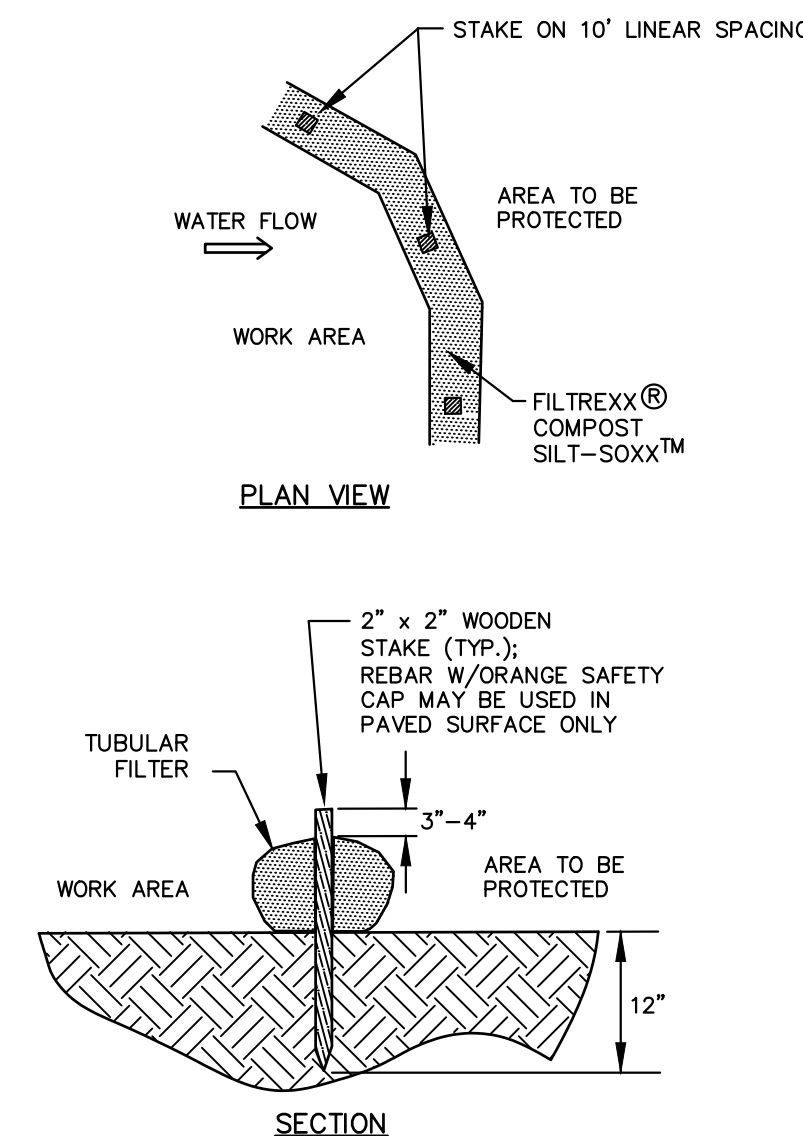
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO CATCH BASIN. INSERT SO THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS LOOK INTO THE CATCH BASIN INSERT. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

UNACCEPTABLE INLET PROTECTION METHOD:

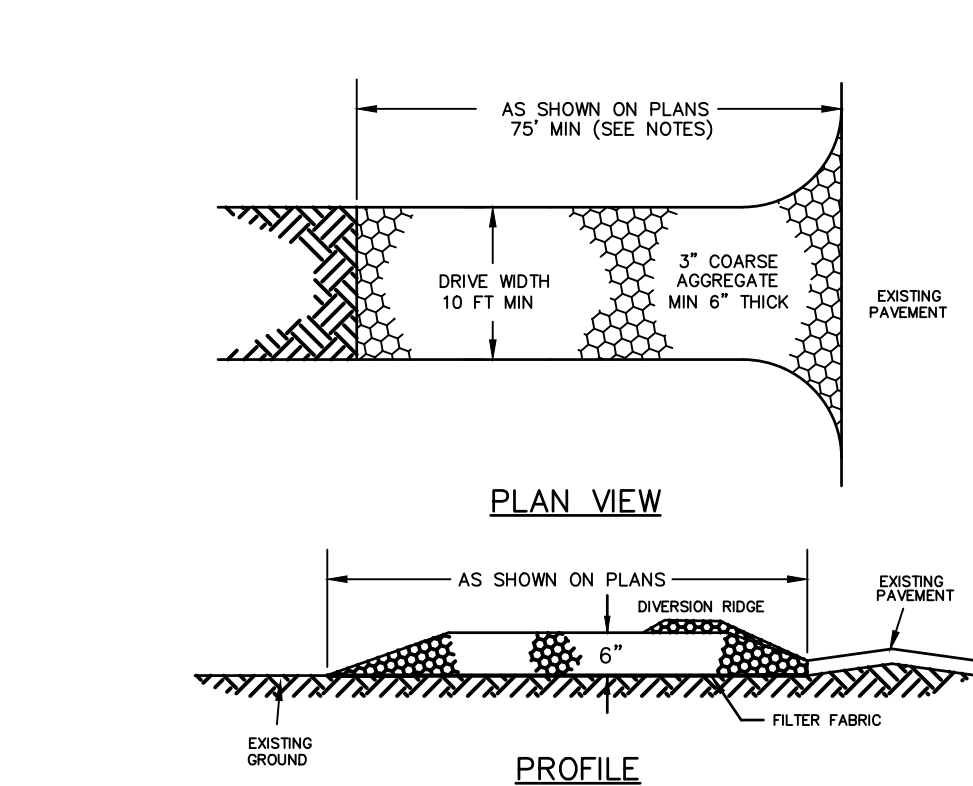
A SIMPLE SHEET OF GEOTEXTILE UNDER THE GRATE IS NOT ACCEPTABLE.

STORM DRAIN INLET PROTECTION NOT TO SCALE



- NOTES:
- SILTSOXX OR APPROVED EQUAL SHALL BE USED FOR TUBULAR SEDIMENT BARRIERS.
 - ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS.
 - COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 - ALL SEDIMENT TRAPPED BY BARRIER SHALL BE DISPOSED OF PROPERLY.

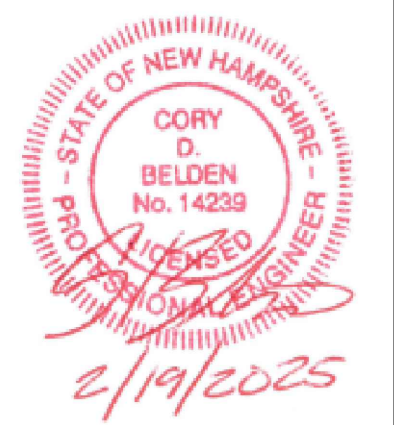
TUBULAR SEDIMENT BARRIER DETAIL NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- REFERENCE NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3 (LATEST EDITION), SECTION 4.2
- *TEMPORARY CONSTRUCTION EXIT REQUIREMENTS AND BMP DETAIL.
- STONE SIZE - 3" COARSE AGGREGATE
- THICKNESS - SIX (6) INCHES (MINIMUM)
- LENGTH - 75 FOOT MINIMUM, OR 50 FOOT ALLOWED WHEN DIVERSION RIDGE IS PROVIDED.
- WIDTH - 1/2 OF DRIVEWAY (10 FOOT MINIMUM)
- FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL
- SURFACE WATER CONTROL - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION EXIT NOT TO SCALE



NOT FOR CONSTRUCTION

ISSUED FOR: PLANNING BOARD

ISSUE DATE: FEBRUARY 19, 2025

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	cbd	02/19/25

DRAWN BY: JMG
APPROVED BY: CBD
DRAWING FILE: 5625-site.dwg

SCALE: NOT TO SCALE

OWNER/APPLICANT:

Dade Auto Holdings Realty Trust
140 Portsmouth Avenue
Exeter, NH 03833

PROJECT:

VOLVO CARS OF EXETER
SERVICE CENTER
EXPANSION

TAX MAP 52, LOT 108
TAX MAP 51, LOTS 1

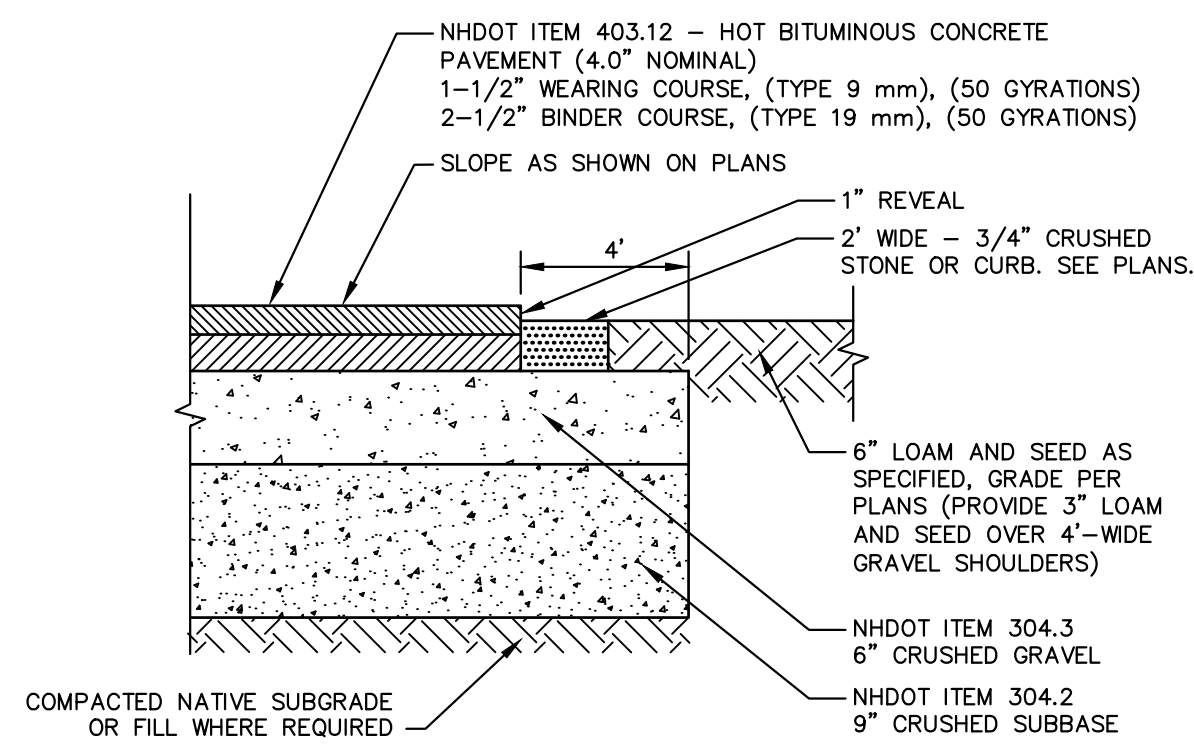
140 Portsmouth Avenue
Exeter, NH 03833

TITLE:

DETAILS

SHEET NUMBER:

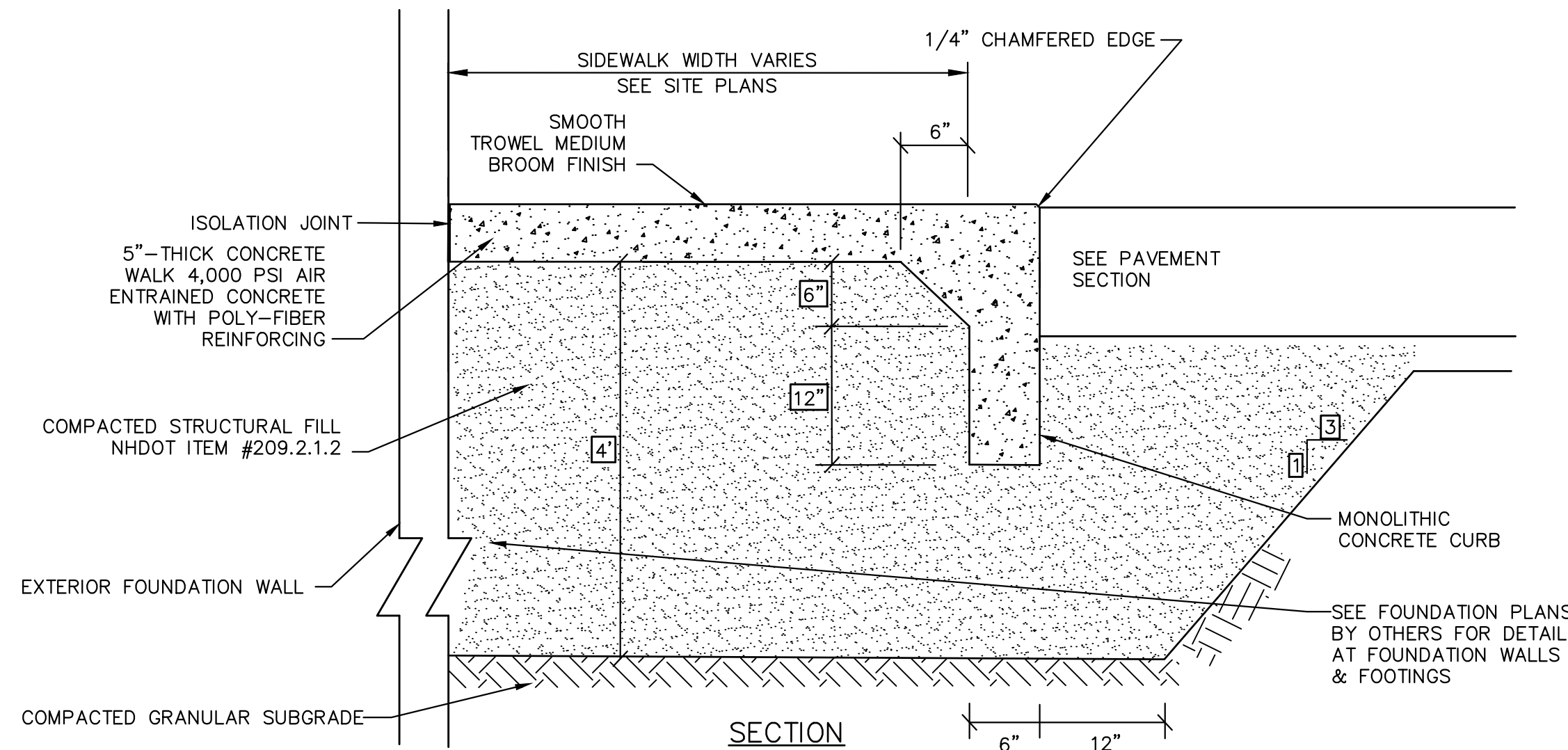
D-2



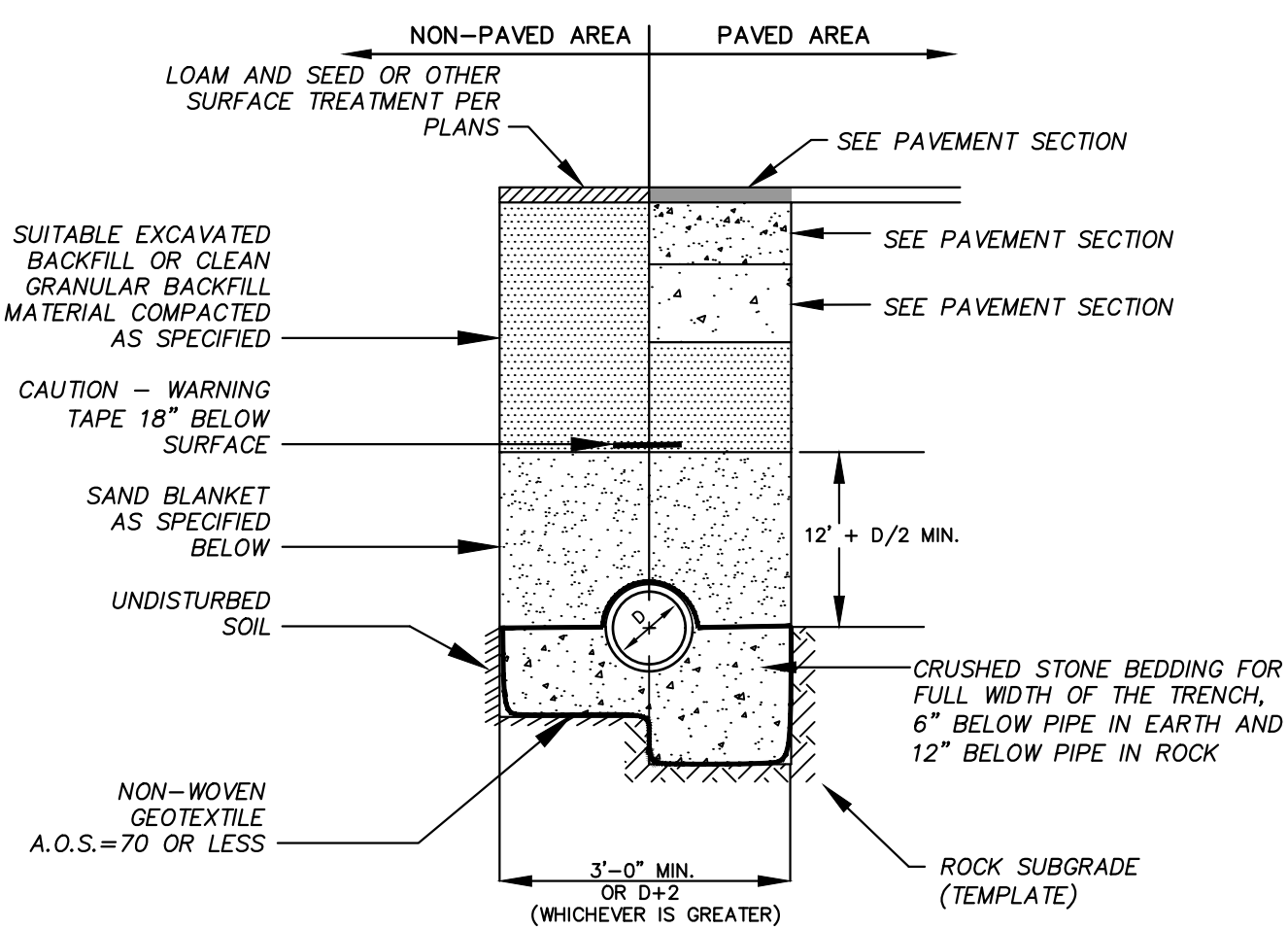
NOTES:

- INSTALL TACK COAT TO BINDER COURSE PAVEMENT PRIOR TO INSTALLING WEARING COURSE.
- REMOVE LEDGE WITHIN 30\"/>

1 PAVEMENT CROSS SECTION NOT TO SCALE



2 CONCRETE SLAB DETAILS @ BLDG. ENTRANCES NOT TO SCALE

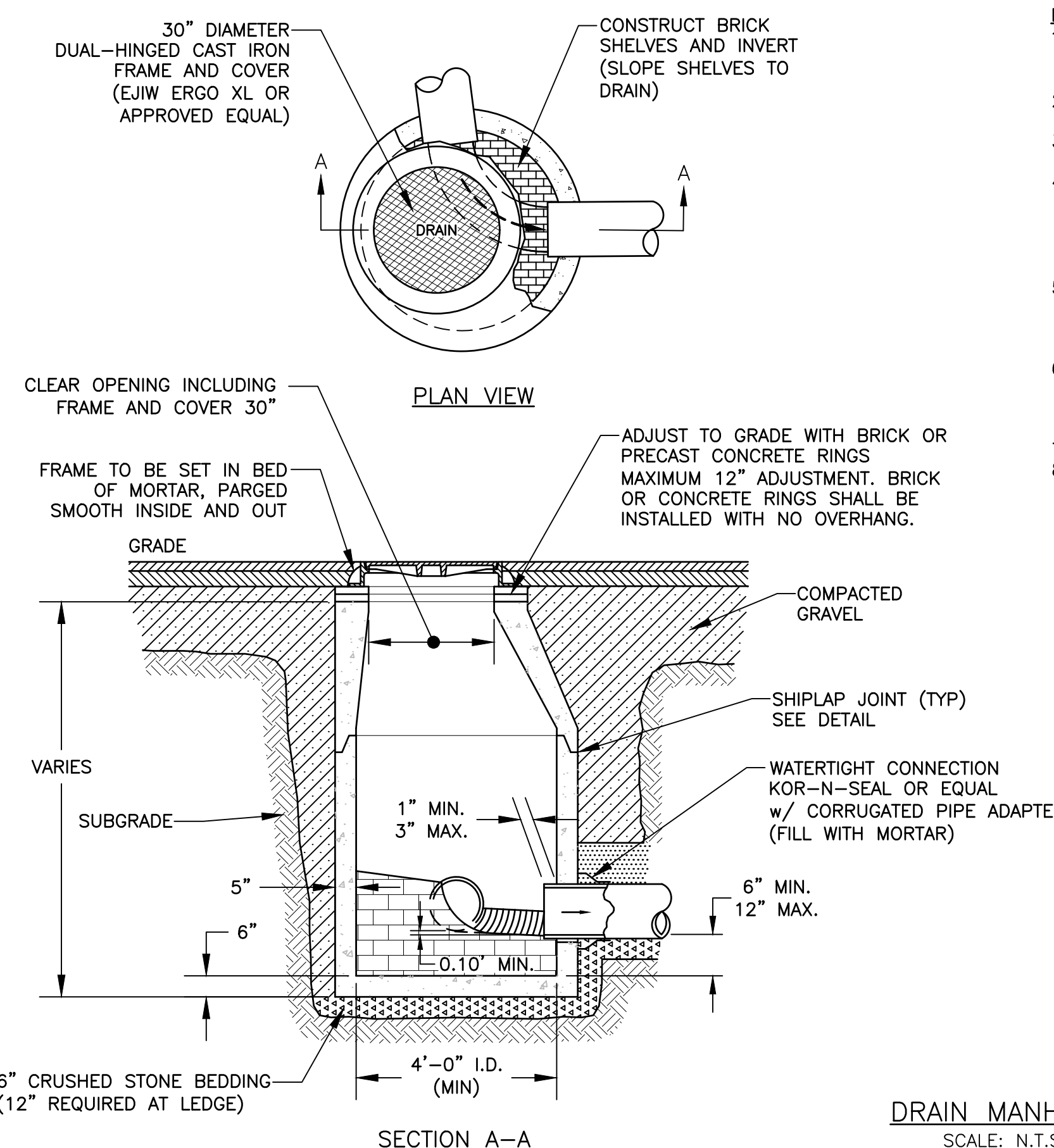


BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING*	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

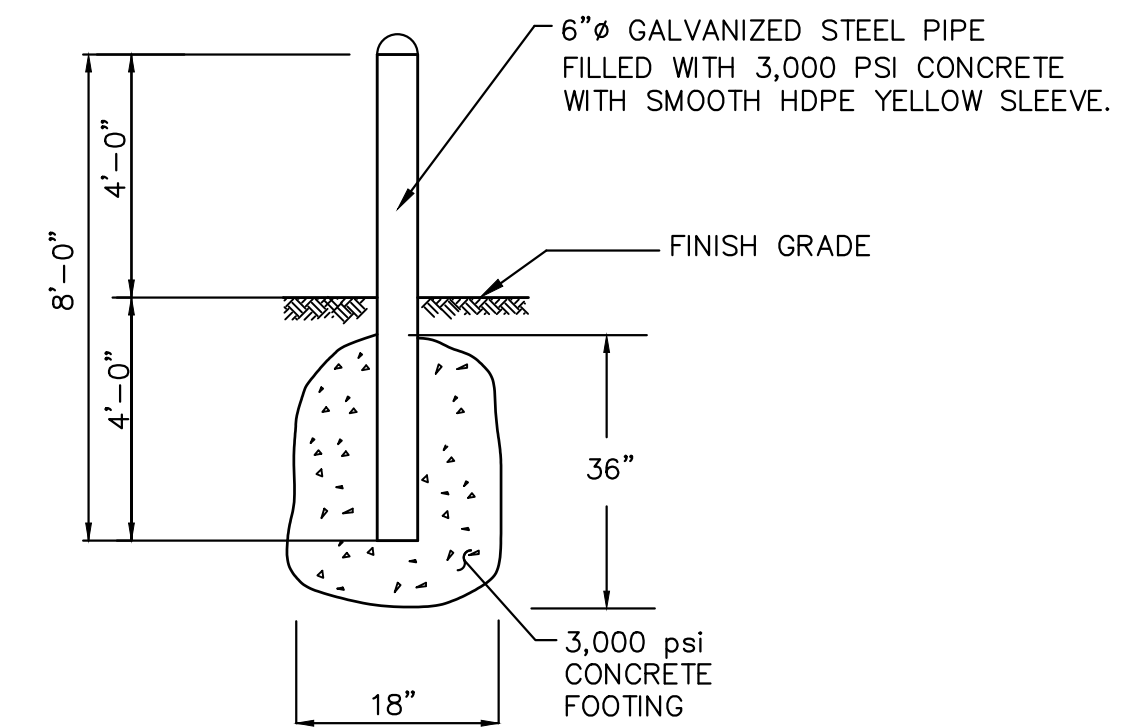
* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

4 STORM DRAIN TRENCH DETAIL NOT TO SCALE



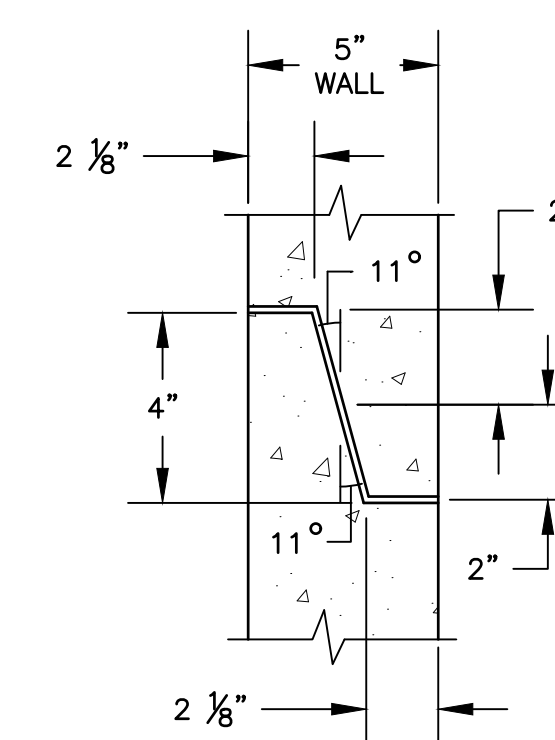
DRAIN MANHOLE SCALE: N.T.S.

5 DRAIN MANHOLE DETAIL NOT TO SCALE



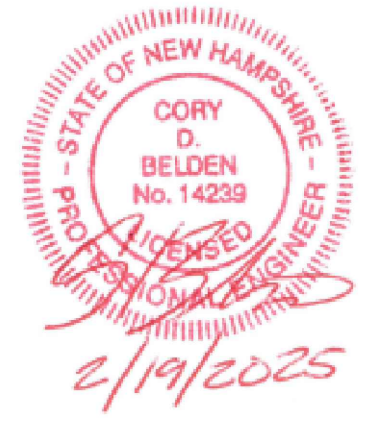
3 BOLLARD NOT TO SCALE

- NOTES:
- SUMP BASE, BARRELS AND TOP (CONE OR FLAT) SECTIONS SHALL BE PRECAST REINFORCED CONCRETE (4,000psi AT 28-DAY).
 - STRUCTURE SHALL BE DESIGNED FOR HS-20 LOAD RATING.
 - PIPES IN STRUCTURE SHALL BE WITHIN THE SUMP BASE PORTION OF THE CATCHBASIN.
 - IN THE EVENT THAT SHIPLAP JOINTS OCCUR BELOW INVERT OUT PIPE, THE HORIZONTAL JOINT SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC (KENT SEAL OR EQUAL) OR MASTIC SEALANT.
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT..
 - EACH CASTING TO HAVE LIFTING HOLES CAST IN.
 - LADDER RUNGS SHALL BE OMITTED.



SHIPLAP DETAIL

NOT TO SCALE



NOT FOR CONSTRUCTION

ISSUED FOR: **PLANNING BOARD**

ISSUE DATE: **FEBRUARY 19, 2025**

REVISIONS		
NO.	DESCRIPTION	BY DATE
0	INITIAL SUBMISSION	CBD 02/19/25

DRAWN BY: _____ JMG
APPROVED BY: _____ CBD
DRAWING FILE: 5625-site.dwg

SCALE: **NOT TO SCALE**

OWNER/APPLICANT:

Dade Auto Holdings Realty Trust
140 Portsmouth Avenue
Exeter, NH 03833

PROJECT:

VOLVO CARS OF EXETER
SERVICE CENTER
EXPANSION

TAX MAP 52, LOT 108
TAX MAP 51, LOTS 1

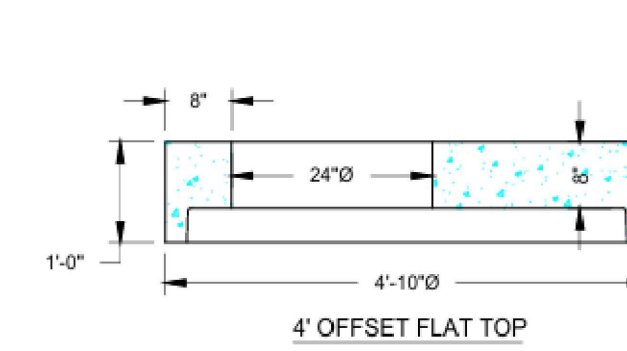
140 Portsmouth Avenue
Exeter, NH 03833

TITLE:

DETAILS

SHEET NUMBER:

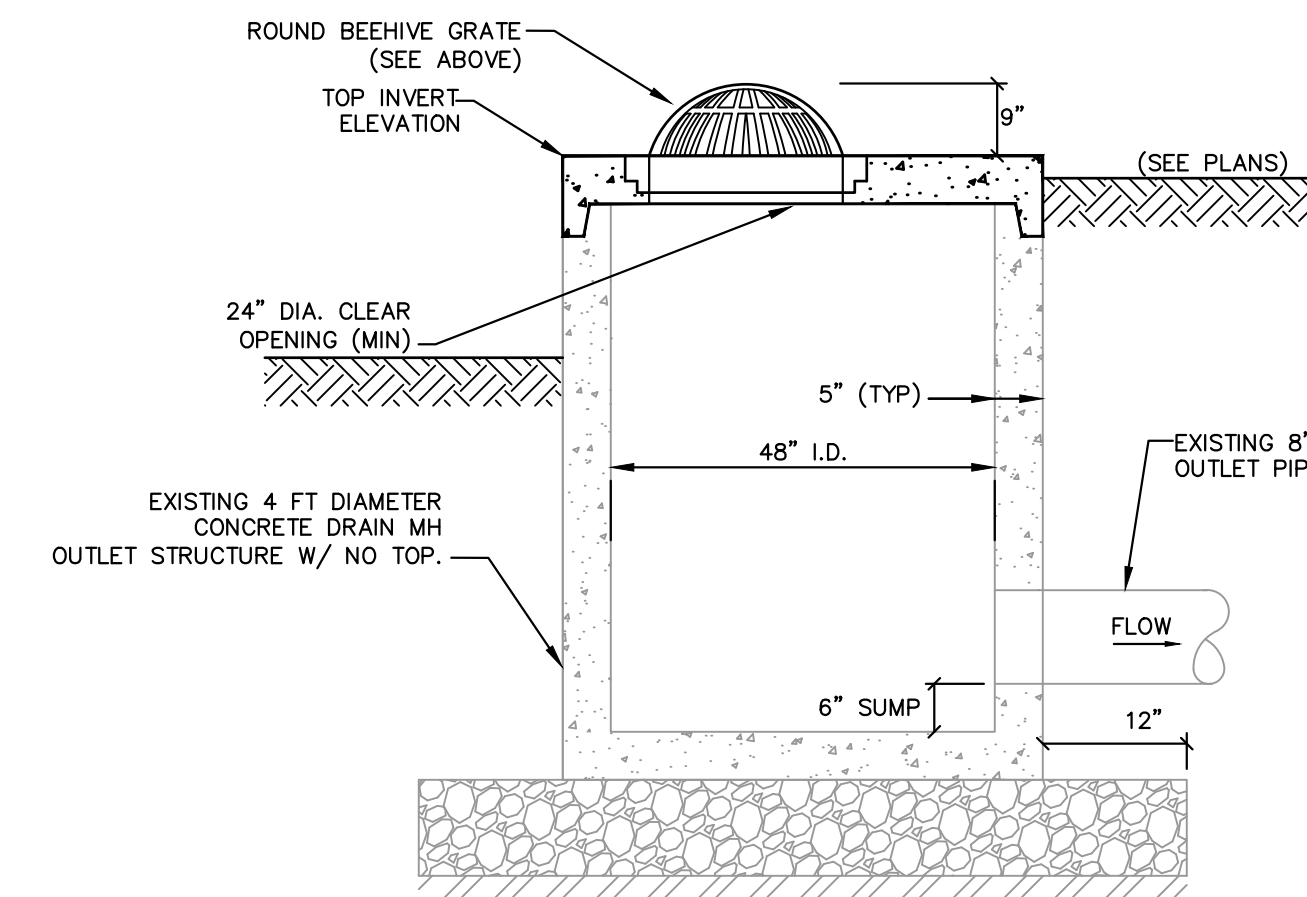
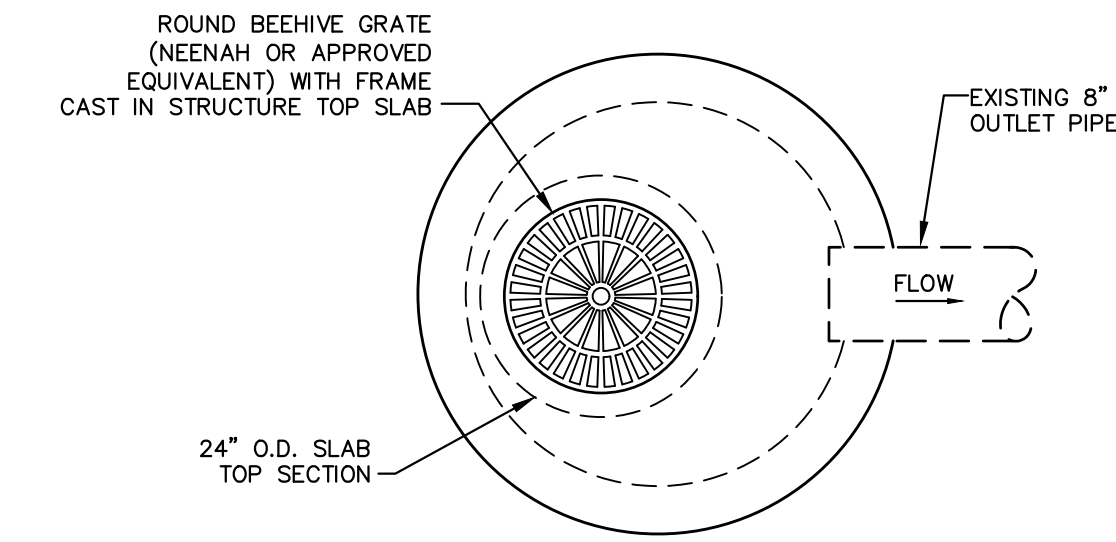
D-3



4 FT FLAT TOP WITH OFFSET OPENING DETAIL
BY American Concrete Industries & Superior Concrete Llc
992 Minot Ave
Auburn, ME 04210
Tel: 207-784-1388 / Fax: 207-783-4039

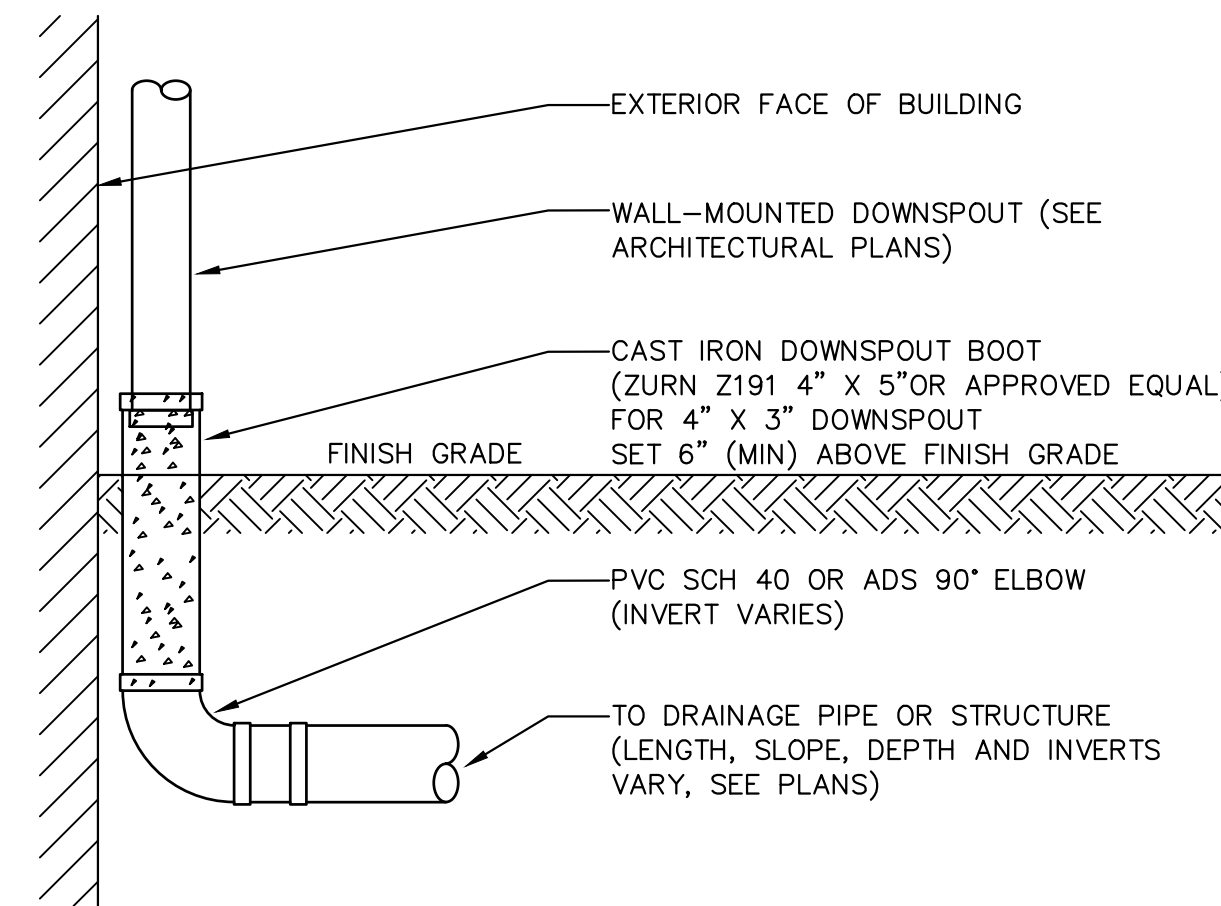
NOTES:

1. OUTLET STRUCTURE SHALL BE CONSTRUCTED ONSITE OR PRECAST TO EQUAL DIMENSIONS.
2. ALL JOINTS AND PIPE OPENINGS SHALL BE SEALED WATERTIGHT WITH MORTAR.
3. STRUCTURE IS TO BE BUILT TO WITHSTAND H2O LOADING.
4. SOIL UNDERLYING THE STRUCTURE'S GRAVEL BASE PAD AND THE PAD ITSELF ARE TO BE COMPACTED TO 95% MODIFIED PROCTOR.
5. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM.

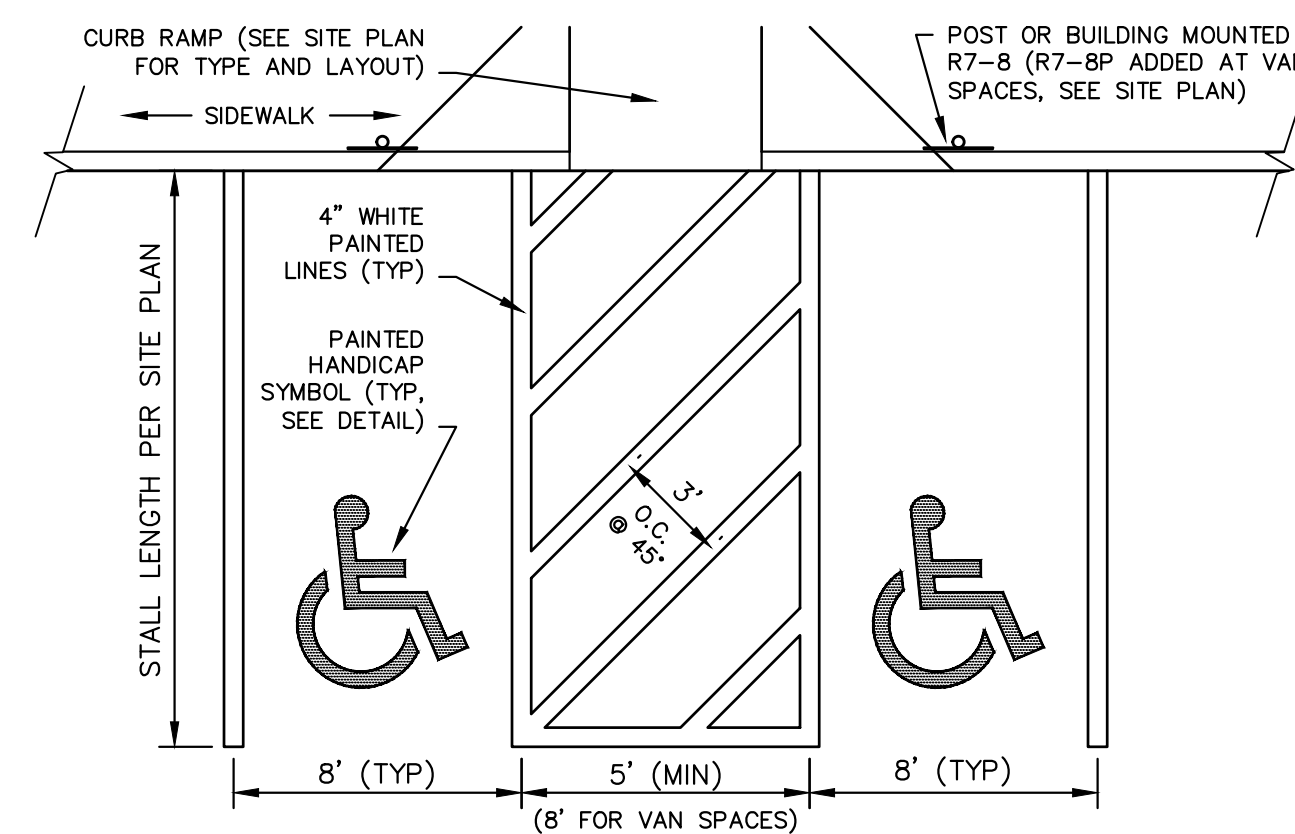


2 **OUTLET STRUCTURE DETAIL**

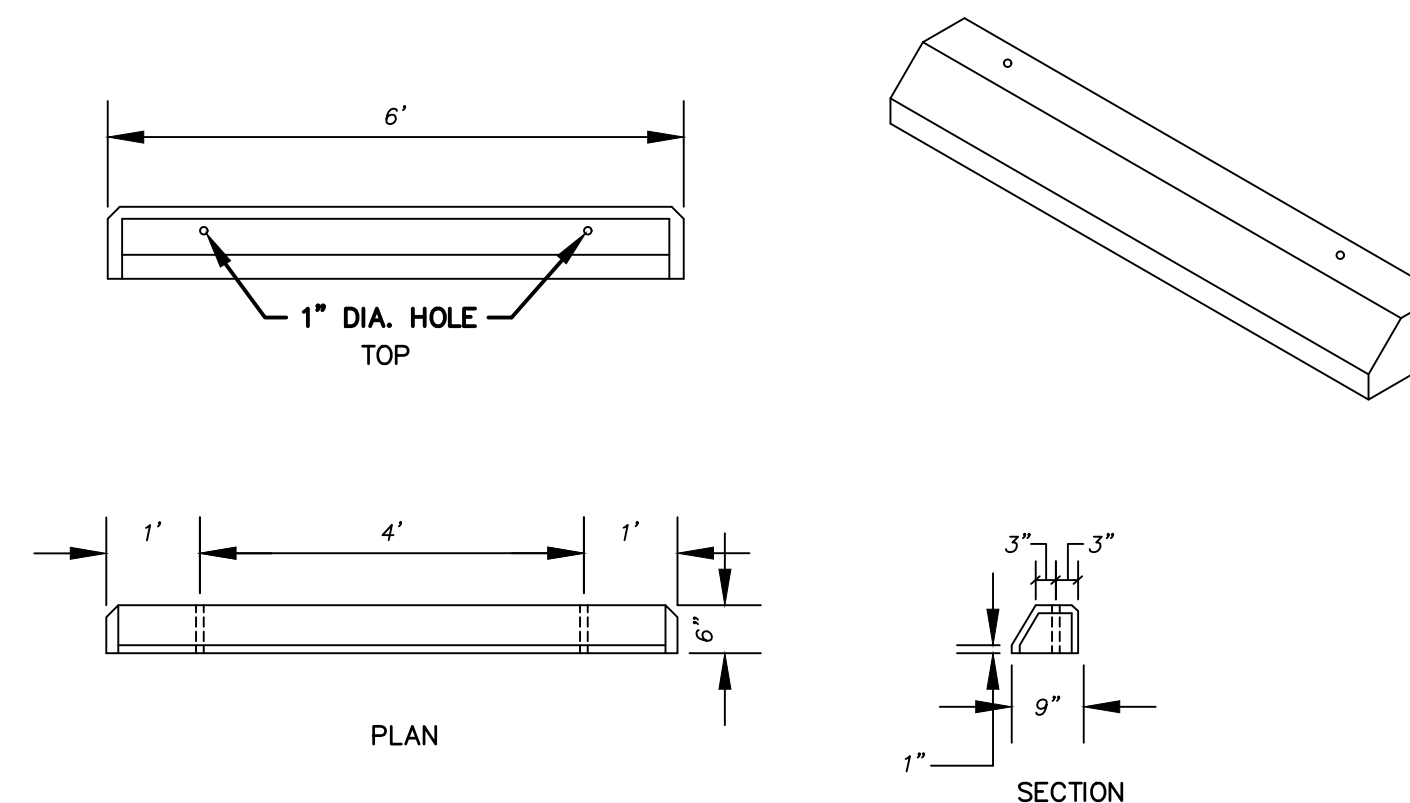
NOT TO SCALE



1 **EXTERIOR ROOF DRAIN CONNECTION** NOT TO SCALE



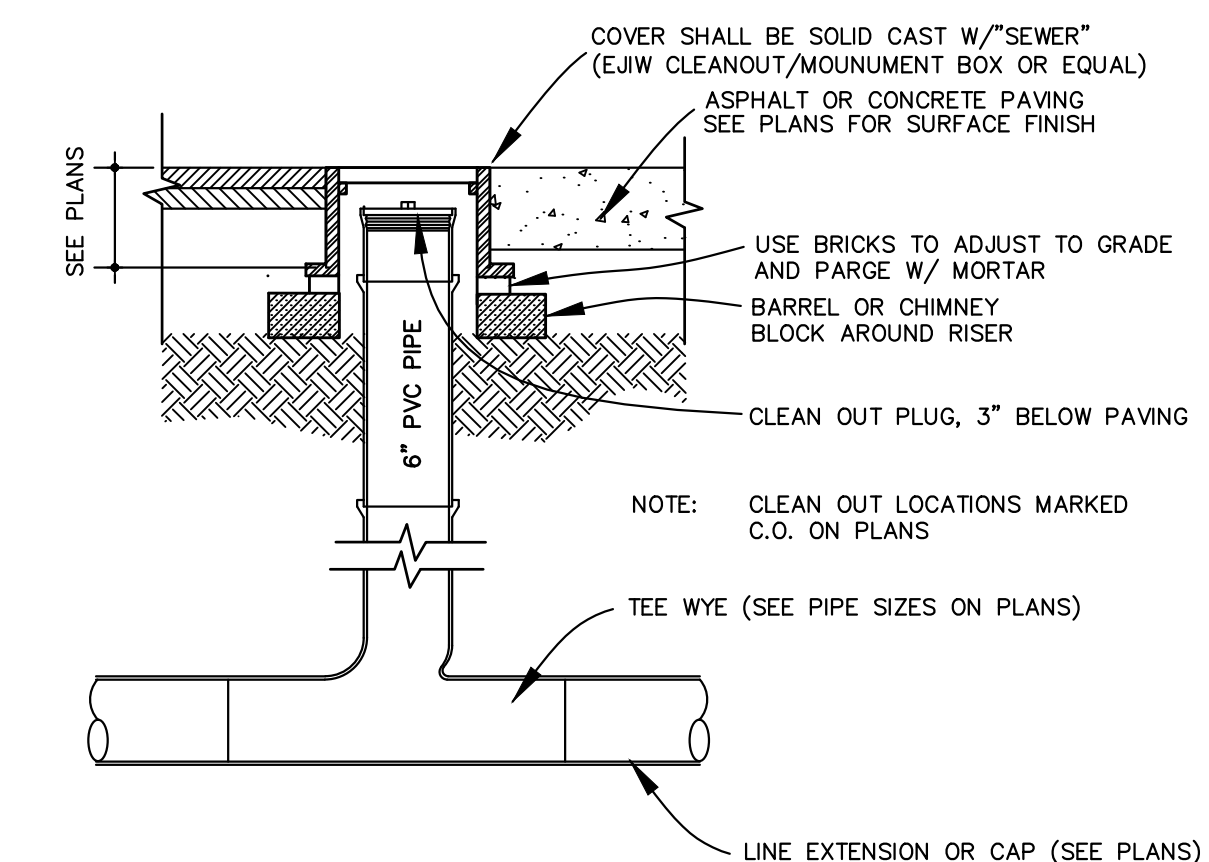
3 **ACCESSIBLE PARKING STALL** NOT TO SCALE



NOTES:

1. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.
2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER

4 **VEHICLE "CURB" STOP DETAIL** NOT TO SCALE



NOTES:

1. SEWER SERVICE LATERAL SHALL BE SLOPED AT 1/4" PER FOOT MINIMUM.
2. WARNING TAPE SHALL BE PLACED 12" ABOVE THE LATERAL SERVICE LINE.
3. COVER AND BARREL BLOCK TRANSITION SHALL BE PARGED AND SEALED WITH MORTAR.
4. PVC TO PVC CONNECTIONS SHALL BE DONE WITH PVC GASKETED COUPLINGS.
5. MONUMENT BOXES LOCATED IN LANDSCAPE AREAS MAY BE INSTALLED DIRECT ON CRUSHED GRAVEL BASE WITHOUT BARREL/CHIMNEY.

5 **CLEANOUT** NOT TO SCALE

Appendix D
RAYNES FARM USE APPLICATION
EXETER, NH

Any use or activity with more than **10** participants on the Raynes Farm property requires an approved Use Agreement from the Exeter Conservation Commission (ECC). Use of the barn by any number of participants requires an approved Use Agreement from the ECC. For more information or questions about this application contact (603) 418-6452.

Event date(s): May 2025 (tbd)

Start Time/End Time (if different in different dates, please specify): 5-8pm

Expected number of participants: 30

Name of Applicant and Organization: Ben Anderson, The Word Barn

Address: 66 Newfields Road Town: Exeter State: NH

Email: ben@brightandlyon.com Phone: 603-244-0202

Contact Person and phone # during the event: Ben Anderson, 603-244-0202

Will electricity be needed? Yes No

Barn Access Requested: Yes No

A. Description of Event.

Please describe your event:

Farm to Table Dinner involving one long communal table down the breezeway of the Raynes Barn. The purpose of this event will be to celebrate and build community, reconnect people to their roots and the environment, and create a stronger general awareness of the Raynes Barn and property.

Please describe the parking plan, including the number of spaces required and other pertinent information (e.g., police detail, signs, overflow plan, etc.):

The event capacity would be small enough to utilize regular Raynes Farm parking and require no new or unique arrangements.

Will your event involve any of the following? (Please check all that apply and provide necessary documentation or permit)

- Food/beverage concessions/vendors/sales
- Alcoholic beverages - Provide Copy of State Permit. NH State permit required; (603) 271-3523
- Electronic sound amplification equipment, speakers, public address system. Must follow noise ordinance.
- Propane/Charcoal BBQ grills - Provide Documentation of Exeter Health Officer Approval. Contact James Murray at jmurray@exeternh.gov; (603) 773-6132
- Electrical set up/ electrical cords run to the site (Provide Documentation of Electric Inspector Approval. Contact Tim Tregga; (603) 773-6112
- Fire pits, bonfires, kindle fire, campfire and other outdoor burning (Provide Copy of Permit from the Exeter Fire Department; (603) 772-1212)
- Tents/canopies If so, list quantity and size _____
- Animals at the event. If so, describe _____
- Motorized Vehicles. If so, describe _____

B. Use Agreement Regulations

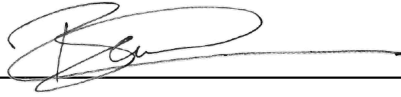
The purpose of these regulations is to ensure the safety, enjoyment of the users of Raynes Farm and the preservation of the agricultural, natural, and cultural resources of this property. Any of these regulations may be waived by the Conservation Commission upon written justification. Please initial each of the regulations below to acknowledge your acceptance of terms.

- BA Any use or activity with more than **10** participants on the property requires an approved Use Agreement from the Exeter Conservation Commission.
- BA Commercial events are not permitted without Conservation Commission approval.
- BA Fees for the use of Raynes Farm are determined on a case-by-case basis. Typically, this is a small percentage of the proceeds or a flat fee. All money goes to the maintenance and stewardship of the Raynes Barn and land.
- BA Events must be timed so as not to interfere with agricultural activities of the property.
- BA Maximum barn occupancy shall be limited to **50** participants at any time.
- BA Each function is required to include an educational component that addresses the agriculture, historic, or natural resources on the property (contact the Town Natural Resource Planner and Exeter Conservation Commission for assistance in developing this, if needed).
- BA Parking is limited to the gravel parking lot unless an alternate parking plan is approved by the Conservation Commission.
- BA Applicants are required to contact the Exeter Police Department ([\(603\) 772-1212](tel:6037721212)) to determine whether a police detail for traffic control is required and are responsible for associated costs.
- BA Events lasting more than 3 hours are required to provide one portable toilet for every 50 participants.
- BA Applicants are responsible for trash removal during the event.
- BA Applicants are required to restore the site to pre-existing conditions within 48 hours of the event.
- BA No smoking is permitted onsite. Events providing alcohol must get prior approval from the Conservation Commission and abide by local and State regulations. (NH State permit required).
- BA Applications must be submitted to the Exeter Conservation Commission following the meeting submission deadlines found on the [Town of Exeter Conservation Commission webpage](#).

C. Certificate of Insurance. The Town requires liability insurance to be submitted with this completed application. Required amounts: General Liability/Bodily Injury/Property Damage: \$300,000/\$1,000,000. The Town must be listed as additionally insured.

D. Signatures and Approval

I have read the attached regulations and fees governing the use of Raynes Farm and pledge that the organization and/or individuals for which this application is intended will faithfully execute those rules and assume total responsibility in connection therewith.

Applicant Signature: _____  _____ Date: 03/25/2025

Submit application to **Exeter Planning Department, 10 Front Street, Exeter, NH**; checks made payable to **Exeter Conservation Commission**.

Applications must be received by the meeting deadline. Applicants must be present at the Conservation Commission meeting for the Commission to act on an application.

This application conforms to the use limitations for Raynes Farm and is hereby approved, subject to the exceptions as stated:

Chair, Exeter Conservation Commission: _____ Date: _____

..... (If road detail is required)

Chief of Police: _____ Date: _____

This permit is issued for the purpose indicated and shall be valid only during the times/dates indicated above.

Exeter Conservation Commission
March 11, 2025
Nowak Room
10 Front Street
7:00 PM
Draft Minutes

Call to Order

1. Introduction of Members Present (by Roll Call)

Present at tonight's meeting were: Chair Dave Short, Vice-Chair Conor Madison, Andrew Koff, Trevor Mattera, Nick Campion, Keith Whitehouse, Valorie Fanger, Alternate Kyle Welch, Alternate Bill Campbell, Alternate Sean Torrez, and Alternate Don Clement (remotely).

Staff Present: Kristen Murphy, Conservation and Sustainability Planner

Chair Short called the meeting to order at 7:00 PM and introduced the members.

2. Public Comment

Chair Short asked if there were any public comments, outside of agenda items.

Action Items

1. Morrisette Property Pollinator Garden (Ally Whitesell)

Ms. Whitesell introduced herself noting she is a senior at Great Bay Charter School, and this will be her second pollinator garden. She described the garden she had done at Great Bay Discovery Center. She proposed three to six types of plants for the garden at the Morrisette property and described the certification process she would need sometime in June before graduating.

Ms. Whitesell reviewed plant types for early, mid and late season, soil types, maintenance, and height. She indicated there would be interpretive signage. Ms. Whitesell requested support from the Commission to fund the materials for the project while she would be responsible for labor. She indicated students at the Charter School were interested in starting a garden club.

Chair Short offered to donate \$100 of materials from his business understanding that she may need to source materials from a few places. Mr. Whitehouse offered to cut back the area for her.

MOTION: Mr. Mattera motioned to authorize expenditure of up to \$250 from the Conservation Land Administration budget for the pollinator garden at the Morrisette property. Mr. Whitehouse seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

44 2. Standard Dredge and Fill application from the Town of Exeter for water, drainage and road
45 improvements in the Westside Drive neighborhood (Tax Map 74 and 81). Various lots, see application
46 (Dan Rochette, Underwood Engineering)

47

48 Chair Short read the public hearing notice out loud.

49

50 Dan Rochette of Underwood Engineering presented the proposal on behalf of the Town. He described
51 the area where the work would be done which has an entrance off Route 111 and pointed out
52 jurisdictional wetlands shown with green lines. He described the existing five outfalls throughout the
53 neighborhood including the drainage system to the river on the left of the plan, the lower outfalls and
54 the top of the plan which is the northerly side. He recommended eliminating outfalls 3 and 4. The pipes
55 for 3 and 4 would be cut back and capped off, pulled back and left in place.

56

57 Mr. Rochette described details of the work including placing of a manhole, pipe outlet and head wall.
58 One pipe would be replaced completely and there would be stone fill as needed. There would be turf
59 restoration with either conservation or wetlands mix.

60

61 Mr. Rochette described the most significant impact with outfall 2 which would have a small pipe
62 replaced with a 15" pipe with a headwall, a lower invest, level swale and corrected grading.

63

64 Mr. Rochette described the inlet side work to replace an existing corrugated metal pipe with a plastic
65 pipe, new headwall and stabilization and clean up.

66

67 Ms. Murphy recommended use of the wetland mix in the wetland areas.

68

69 Mr. Madison asked about rip rap at the headwall for outfall 5. Mr. Rochette described use of rounded
70 off stone fill.

71

72 Mr. Campbell asked about treatment before the river and Mr. Rochette described catch basins with 3'
73 sumps existing. Mr. Campbell asked how flow would get to outfall 1 and Mr. Rochette indicated the
74 pipe is sunk deeper and the gravity drainpipe with outfall 2 gaining depth.

75

76 Ms. Murphy commented on the reduction of impervious coverage with the pavement of the road width
77 narrowing to 28.' Mr. Rochette noted a reduction of mid 40% with the narrowing which will become
78 lawn and yard for property owners. He noted there was a public meeting with the neighbors.

79

80 Mr. Mattera and Mr. Whitehouse indicated they would be recusing themselves, as they live in the area.

81

82 Mr. Koff asked about the front stormwater and Mr. Rochette indicated there was funding with
83 stormwater SRF with the state who did a report. He noted groundwater elevation was so high he is
84 limited as to what he can do from an infiltration standpoint. He noted deep sump catch basins were
85 being provided.

86

87 Mr. Koff asked about the material for outfall 1 and river migration over time. Mr. Rochette noted he
88 hasn't looked at the impact of bank scouring on the outside corner. There will be a headwall, and the
89 rest remains undisturbed and shouldn't change conditions much.

90

91 Ms. Murphy asked about the flow after reduction of impervious surface and Mr. Rochette noted even
92 with the reduction of impervious areas from a calculation standpoint with consolidation of the outfalls,
93 he can't say it is reduced to a single outfall. With individual outfalls he can't say that. The goal is to
94 convey surface runoff.

95

96 Mr. Koff asked if it would be maintained by the Department of Public Works and Ms. Murphy noted
97 there are drainage easements which are town infrastructure, and the town is required to maintain
98 them.

99

100 Mr. Madison asked about the pipe going underwater when it floods. Mr. Rochette described the
101 elevations and noted the pipe would only be submerged during significant storm events. Mr. Madison
102 commented about there being wood chip berms behind outfall 3 and 4 and noted the silt fence along
103 the riverbank.

104

105 Mr. Whitehouse asked, as a resident, when the project would start, and Mr. Rochette explained the
106 bidding process and work with NH Department of Environmental Services for final design review and
107 was optimistic the project would start this summer.

108

109 Chair Short noted that alternates Michelle Crepeau and Kyle Welch would be active to replace Mr.
110 Whitehouse and Mr. Mattera for this hearing.

111

112 MOTION: Chair Short motioned that the Commission reviewed the memo from NH DES and reviewed
113 the application and has no objection to the application as presented. Mr. Madison seconded the
114 motion. A vote was taken, all were in favor, the motion passed 7-0-0.

115

116 Mr. Whitehouse and Mr. Mattera returned and the alternates were inactivated.

117

118 3. Treasurer's Report (Drew Koff)

119

120 Mr. Koff reported the budget is \$9,796. The Conservation Fund has a balance of \$154,000 with
121 \$100,000 obligated for the Ryder property and \$50,000 for Raynes. The Stewardship Fund has \$4,000
122 for monitoring at 80 Epping Road and one other parcel. He reported the Forestry Fund has a balance of
123 approximately \$12,000 from proceeds of harvest which can only be used for forestry maintenance. He
124 noted examples such as invasive and insect control and referenced the fund guidebook/RSA. Ms.
125 Murphy noted an example of a town road or landing used to do the harvesting. She noted the Forestry
126 Fund is only for the town forest and special parcels designated at town meeting, mostly Henderson
127 Swasey and some of the Oaklands.

128

129 Mr. Koff indicated there was a proposal for chemical treatment which received concern from neighbors
130 about the environmental impact. Ms. Murphy noted there was a lot of hand pulling and Burning Bush,

131 and Garlic Mustard in areas. Chair Short noted Bittersweet could be chipped, it is choking the trees.
132 Ms. Murphy noted Black Swallowwort was seen by the parking lot at Henderson Swasey. Mr. Torres
133 asked about the chemical treatment and Ms. Murphy noted it is a spot treatment not broadcast
134 spraying and it needs to be done by a licensed contractor unless it is the landowner, which is hard to say
135 when it is the town. She noted there was some invasive treatment a couple of years ago at the Elliot
136 property adjacent to the Oaklands which was built into the easement.

137

138 4. 2025 Annual Work Plan & Budget Planning

139

140 Mr. Koff noted the Commission would go over on mowing and the cost would have to be pulled from
141 other areas. He indicated there was possibly stewardship funds from Great Bay if the project has a
142 minimum cost of \$2,000. Ms. Murphy questioned if the cost can be combined, and mowing costs offset
143 the town match. She will bring more information to the next meeting. She noted the cost of brush
144 removal at the Irvine Property is \$1,700. The application is due April 17th.

145

146 Mr. Koff noted there are funds for training and maybe interns.

147

148 The Commission discussed 503B status versus 501C3 status as umbrellas. Ms. Murphy recommended
149 getting advice from a tax attorney. She noted the town adopted a donation policy. The Commission is
150 able to accept donations to the Fund up to \$10,000 and then has to go before the Select Board for
151 approval of higher amounts. She noted there were some grants for non profits.

152

153 The Commission discussed the cost for the stairway at Raynes and waiting for the location of the fire
154 suppression system and access to the electrical panel.

155

156 5. 2025 Trail Committee Meeting

157

158 Kyle Welch and Sean Torres have been cataloguing the bridges at Henderson Swasey and Oaklands and
159 their state of repair. Mr. Torres noted there is quite a lot of stonework and recommended having a
160 foreman oversee the volunteer work. He noted that tractor services were offered at a cost of \$200. Ms.
161 Murphy noted that replacement in kind is considered maintenance, but any expansion or demolition
162 should go before the Commission. There could be three commission members and two others forming
163 the group. Ms. Murphy noted there was a trail plan done in 2009. Mr. Torres indicated it should be
164 updated every ten years. Ms. Murphy recommended tracking the budget component and volunteer
165 hours.

166

167 6. Committee Reports

168

169 a. Property Management

170

171 i. Raynes Farm

172

173 Ms. Murphy noted the ADA parking on the south side of the barn is part of the Town's L-CHIP
174 match. DPW would be doing the grading around the perimeter and stone dust pathway to

175 benches. Chair Short noted he was strongly opposed to using that area because of safety.
176 Going in is not a problem but exiting is unsafe. He requested a different location. Ms. Crepeau
177 noted that the lower level has to be accessible. Ms. Murphy indicated the steps to modify the
178 contract with L-CHIP are not simple and need to be done timely. Chair Short noted they need to
179 do it so that Stephen will get paid when he is completely done.

180
181 Mr. Campion recommended reviewing the land management document and coming up with a
182 solution.

183
184 Ms. Murphy recommended the sign be located in the back parking lot on the kiosk. The cost
185 would be approximately \$170.

186
187 MOTION: Mr. Whitehouse motioned to expend up to \$170 for the sign and the Stewardship
188 Committee would install it. Chair Short seconded the motion. A vote was taken, all were in
189 favor, the motion passed 7-0-0.

190
191 ii. McDonnell Easement

192
193 Ms. Murphy reported that a property owner at the McDonnell easement area has concerns
194 about geocaching and with people parking in her driveway.

195
196 Ms. Murphy asked for volunteers to open and close the gate. Diane closes the gate each night
197 so volunteers are needed to open at 8 AM and can let Ms. Murphy know if they are interested.

198
199 b. Outreach Events

200
201 i. Full Moon Snowshoe February Hike – February 12 and Hike on – March 14th

202
203 Mr. Whitehouse indicated the event was successful with 51 people turning out. Mr.
204 Whitehouse noted that he and his wife paid for the porta potty expense but did not think one
205 would be needed for the next event on March 14th which takes about two hours. There could
206 be another in April. Mr. Whitehouse recommended use would be the key to maintaining the
207 barn. He recommended having a pumpkin patch and education and displays in the barn. Mr.
208 Campion noted there is a form to submit ideas and to describe the theme as educational,
209 agricultural, nature, etc. and type of displays, animals, trees, etc. He reminded to be sensitive to
210 the mowing and nesting birds.

211
212 Mr. Whitehouse noted the Full Moon hike was covered by Exeter TV and made the news report.

213
214 ii. Hike Exeter Challenge – Kyle Welch

215
216 Mr. Welch reported three hikers received their Hike Exeter sticker and there has been a lot of
217 activity on the Facebook site.

218

219 iv. 34th Annual Spring Tree Program

220

221 Ms. Murphy noted this will be the 34th year of the saplings being given to 5th Graders at the
222 Lincoln Street School.

223

224 MOTION: Mr. Whitehouse motioned to approve the expenditure of up to \$458 for the spring
225 tree program. Mr. Mattera seconded the motion. A vote was taken, all were in favor, the
226 motion passed 7-0-0.

227

228 v. Alewife Festival

229

230 Mr. Koff noted a planning meeting is coming up. Ms. Murphy noted she sent information to
231 past participants and May 10th is the preferred date.

232

233 c. Other Committee Reports (River Study, Sustainability, Energy/CPAC, Tree, CC Roundtable)

234

235 Mr. Whitehouse indicated he would be interested in serving on the Stewardship Committee.

236

237 MOTION: Chair Short motioned to appoint Keith Whitehouse to the Raynes Stewardship
238 Committee. Mr. Madison seconded the motion. A vote was taken, all were in favor, the motion
239 passed 7-0-0.

240

241 Ms. Murphy noted the Sustainability Advisory Committee is interested in having a Styrofoam
242 collection event on April 26th and they are working out the details.

243

244 Ms. Murphy reported NH Fish and Game is offering training for the citizen's science counting fish
245 project at Great Bridge. Volunteers can sign up for the training at the library on April 19th at 10 AM.

246

247 Ms. Murphy announced that the Ryder property has been signed off on by all towns and is about to
248 close.

249

250 Ms. Murphy noted the Tree Committee will be coming to the next meeting.

251

252 7. Approval of Minutes

253 February 11, 2025 Minutes

254

255 Mr. Koff recommended an edit.

256

257 MOTION: Mr. Madison motioned to approve the February 11, 2025 minutes, as amended. Chair Short
258 seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

259

260 8. Correspondence

261

262 a. No Dogs sign at McDonnell Conservation Area

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Chair Short recommended purchasing a couple of inexpensive signs.

MOTION: Mr. Koff motioned to approve the expenditure of up to \$50 for no dogs signs. Mr. Whitehouse seconded the motion. A vote was taken, all were in favor, the motion passed 7-0-0.

Other Business

Next Meeting: 4/8/25, Submission Deadline: 3/28/25

9. Adjournment

Mr. Whitehouse motioned to adjourn the meeting at 9:30 PM.

Respectfully submitted,

Daniel Hoijer, Recording Secretary

Via Exeter TV

Zoom Webinar ID: 863 1945 5010

Styrofoam Recycling Event



**SATURDAY, APR 26
9AM TO 11AM**



**EXETER PUBLIC WORKS
13 NEWFIELDS ROAD**



**For more info:
www.exeternh.gov**

*Brought to you by: The Town of Exeter Sustainability
Advisory Committee in partnership with
the Town of Gilford*

