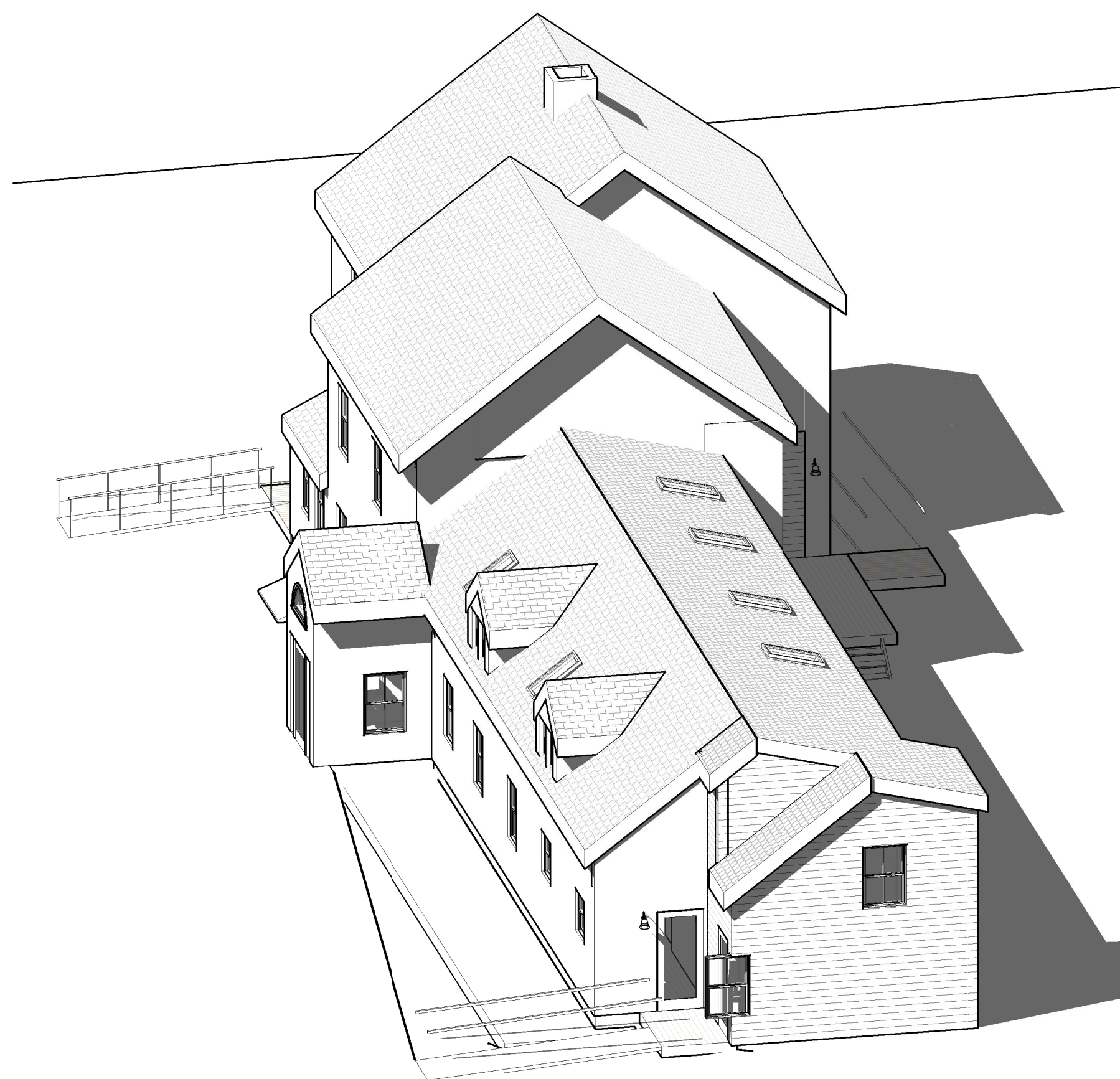


EXETER PARKS AND RECREATION



1 3D - NORTH VIEW



2 3D - SOUTH VIEW

SCHEMATIC DESIGN 3.11.2024

DRAWING LIST		SCHEMATIC DESIGN
SHEET NO.	NAME	
COVER SHEETS		
T.01	COVER SHEET	•
T.02	DRAWING INDEX, NOTES AND SYMBOLS	•
LIFE SAFETY		
LS.01	LIFE SAFETY DIAGRAMS & CODE SUMMARY	•
DEMOLITION PLANS		
AD1.01	DEMOLITION PLANS	•
A1 - PLANS		
A1.00	OVERALL SITE	•
A1.01	FLOOR PLANS	•
A1 - RCPS		
A1.11	REFLECTED CEILING PLANS	
A1.2 - FINISH PLANS & SCHEDULES		
A1.21	FINISH PLANS & SCHEDULES	
A2 - EXTERIOR ELEVATIONS		
A2.01	EXTERIOR ELEVATIONS & BUILDING SECTIONS	•
A4 - ENLARGED PLANS		
A4.01	ENLARGED PLANS	
A5 - INT. ELEV.		
A5.01	INTERIOR ELEVATIONS	
A6 - VERTICAL		
A6.01	STAIR PLAN, SECTIONS, & DETAILS	
A6.02	LIFT PLANS, SECTIONS, DETAILS	
A7 - DETAILS		
A7.01	PLAN & SECTION DETAILS	
A8 - DETAILS		
A8.11	DOOR SCHEDULES & DETAILS, PARTITION TYPES	
Structural		
S.1	SPECIFICATIONS & NOTES	
MECHANICAL		
H0.01	HVAC BASIS OF DESIGN	
H1.01	HVAC DUCT FLOOR PLAN	
H1.02	HVAC PIPE FLOOR PLAN	
H1.03	HVAC DUCT DEMOLITION FLOOR PLAN	
H1.04	HVAC PIPE DEMOLITION FLOOR PLAN	
H3.01	HVAC SCHEDULES	
H4.01	HVAC SCHEMATICS & DETAILS	
H4.02	HVAC SCHEMATICS & DETAILS	
PLUMBING		
P0.01	PLUMBING BASIS OF DESIGN	
P1.00	PLUMBING UNDERSLAB PLAN	
P1.01	PLUMBING FLOOR PLAN	
P2.01	PLUMBING DEMO FLOOR PLAN	
P3.01	PLUMBING SCHEDULES	
P4.01	PLUMBING DETAILS	
FIRE PROTECTION		
FP0.01	FIRE PROTECTION BASIS OF DESIGN	
FP0.02	FIRE PROTECTION BASIS OF DESIGN	
FP1.01	FIRE PROTECTION FLOOR PLAN	
FP4.01	FIRE PROTECTION DETAILS	
ELECTRICAL		
E1.00	ELECTRICAL LEGEND	
E1.01	ELECTRICAL LIGHTING FLOOR PLAN	
E2.01	ELECTRICAL POWER FLOOR PLAN	
E3.01	ELECTRICAL PARTS PLAN	
E4.01	ELECTRICAL POWER RISER DIAGRAM	
E5.01	ELECTRICAL SCHEDULES	
E5.02	ELECTRICAL SCHEDULES	
E6.01	ELECTRICAL DETAILS	
ED1.01	ELECTRICAL DEMOLITION FLOOR PLAN	
FIRE ALARM		
FA0.01	FIRE ALARM LEGEND AND DETAILS	
FA2.01	FIRE ALARM FLOOR PLAN	
FA3.01	FIRE ALARM RISER DIAGRAM	
FAD1.01	FIRE ALARM DEMOLITION PLAN	



ARCHITECTS
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PORTSMOUTH, NH 03801
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125 Aviation Ave. Suite 4
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EXETER PARKS AND RECREATION
10 HAMPTON ROAD
EXETER NH 03833
RENOVATION

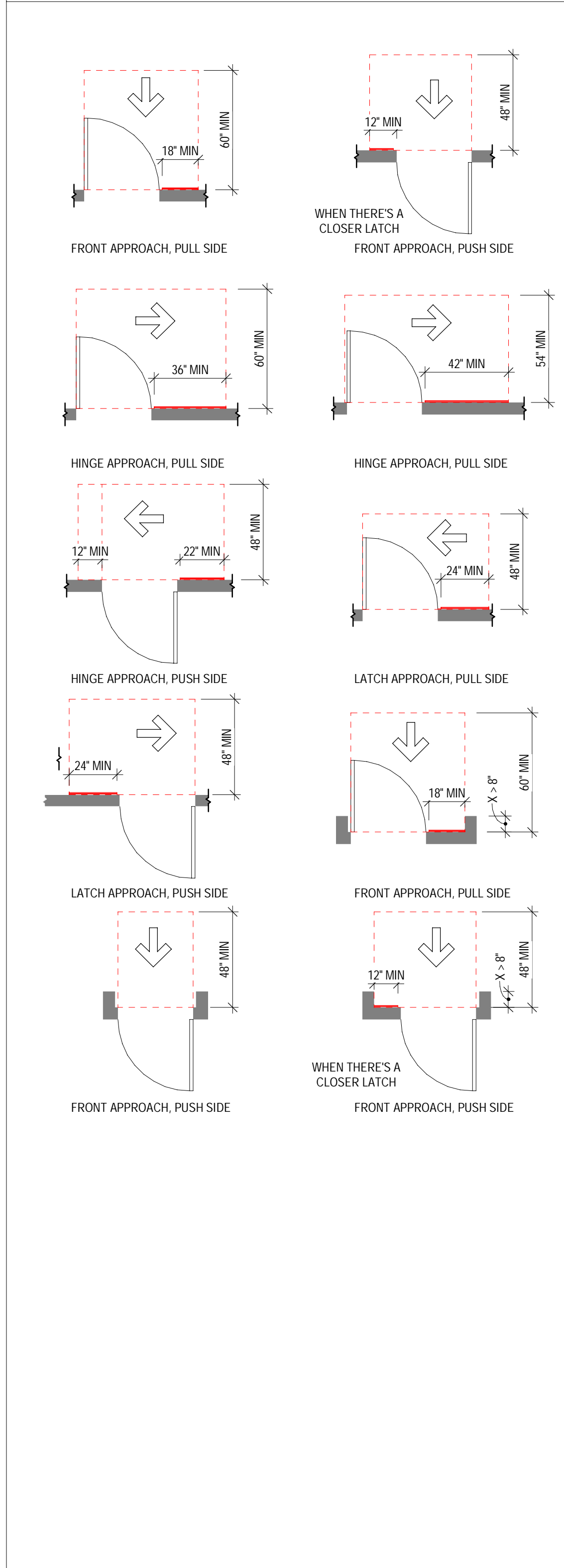
Date: 3.11.2024
Project Number: 23022

REVISIONS		
NO.	DESCRIPTION	DATE

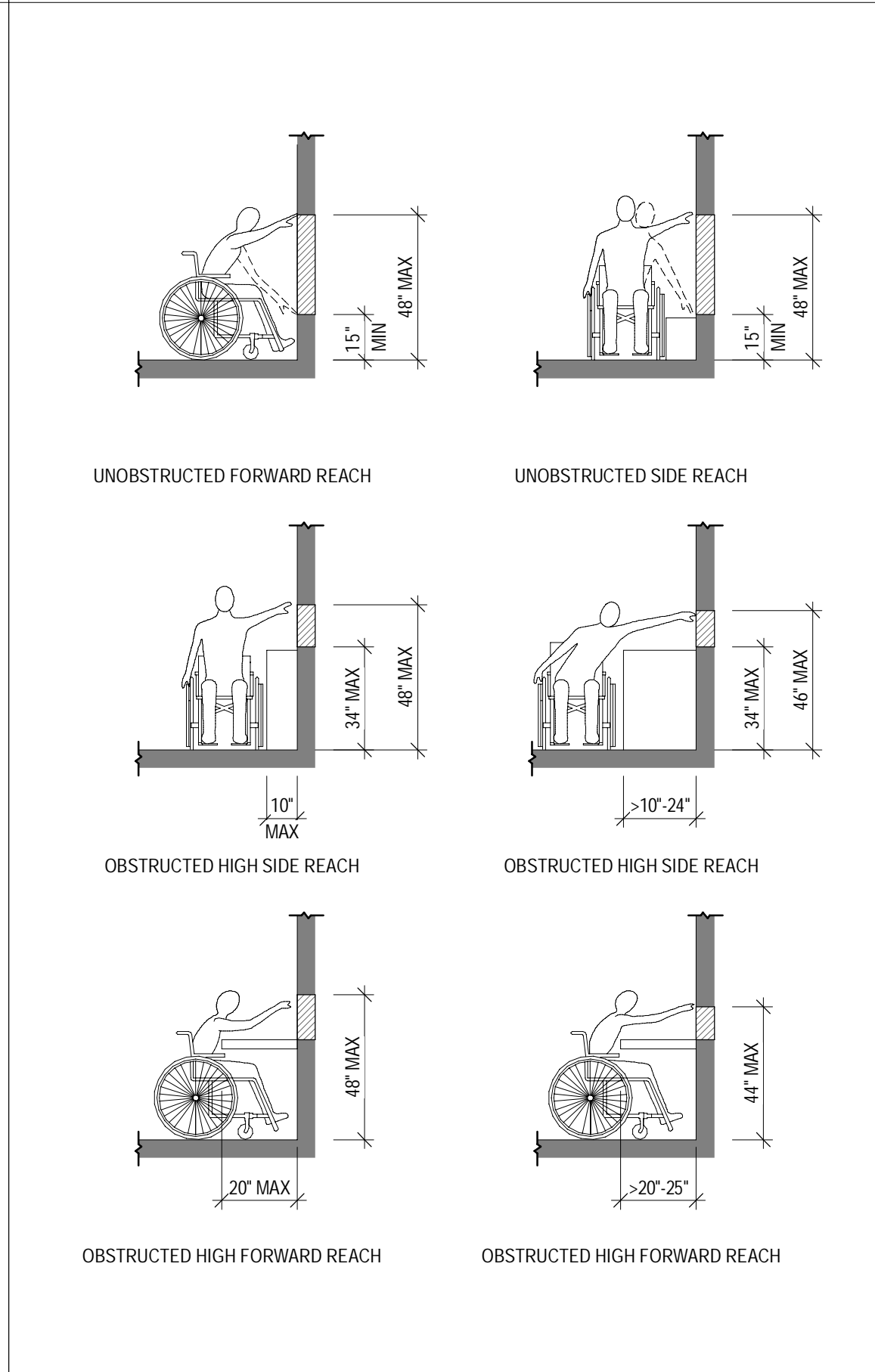
SCHEMATIC DESIGN
COVER SHEET

T.01

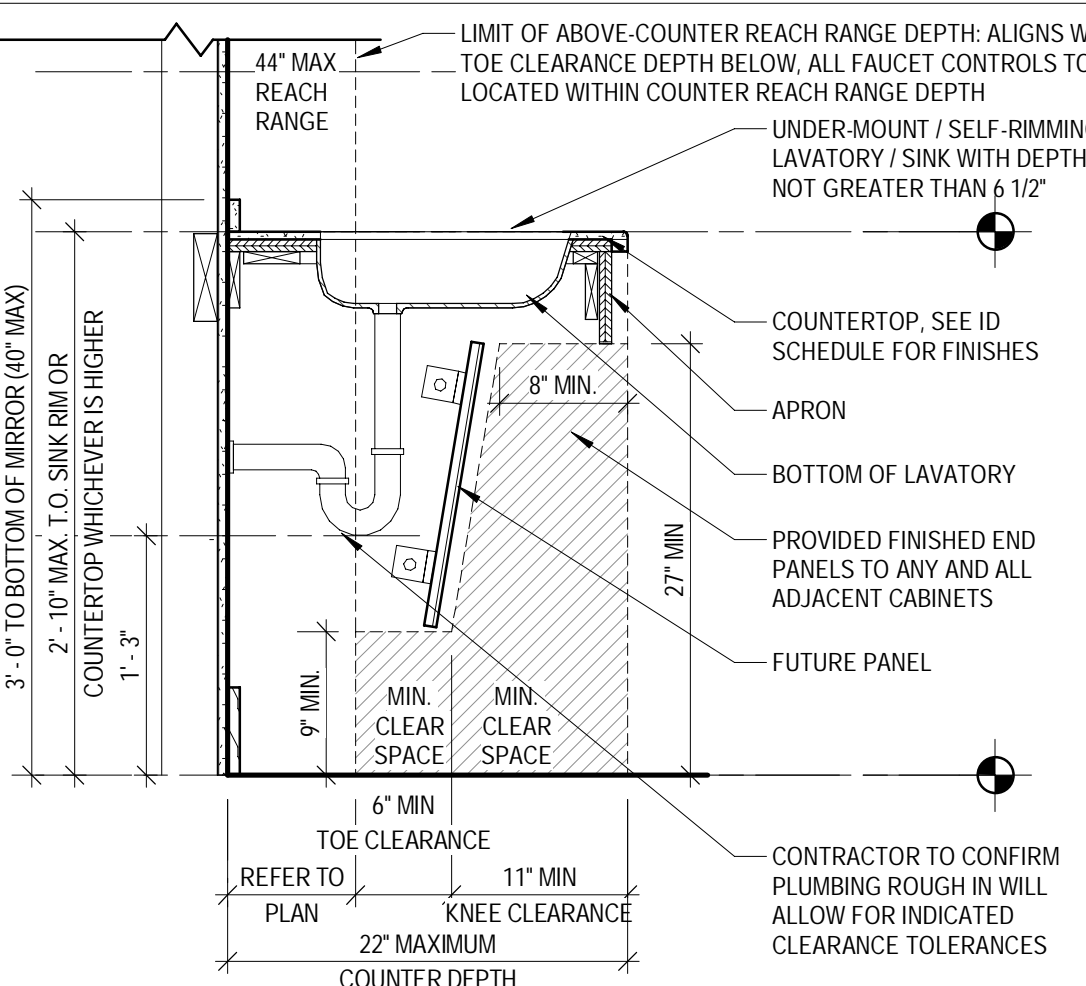
ACCESSIBLE DOOR CLEARANCES



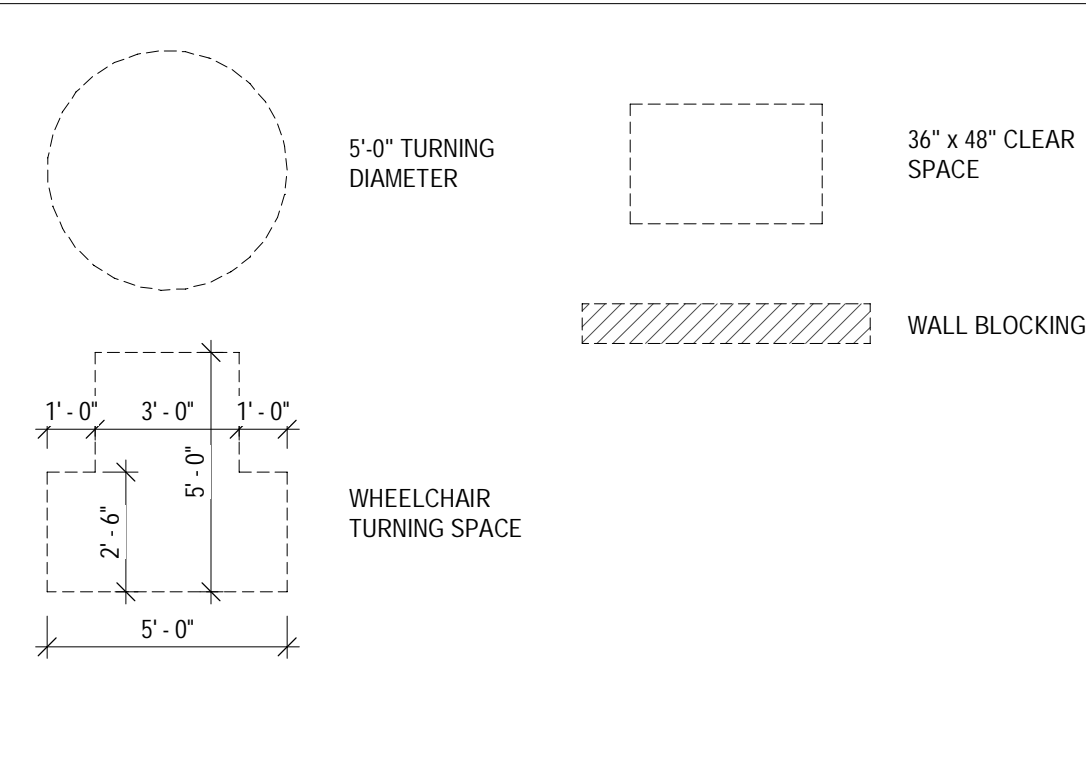
ACCESSIBLE REACH CLEARANCE



SINK/LAVATORY REMOVABLE CABINET CLEARANCE REQUIREMENTS AT UNITS



ACCESSIBILITY LEGEND



GENERAL ABBREVIATIONS

#	POUND OR NUMBER	HWWD	HARDWOOD
AN	ANGLE	HWDE	HARDWARE
HT	HEIGHT	HT	HOLE
HM	HOLLOWMETAL	HR	HORIZONTAL
HR	HOUR	INT	INTERIOR
ACAS	ACCESSIBLE AISLE	ID	INSIDE DIAMETER
ACAS	ACCESSIONAL	INSUL	INSULATION
ACSP	ACCESSIBLE SPACE	INT	INTERIOR
ACT	ACOUSTICAL CEILING TILE	JAN	JANITOR CLOSET
ADJ	ADJUSTABLE	JOINT	JOINT
ADJC	ADJACENT	IT	IT
AF	ABOVE FINISH FLOOR	LD	LEFT HAND
AGGR	AGGREGATE	LKR	LOCKER
ALUM	ALUMINUM	LP	LOW POINT
APPROX	APPROXIMATE	LT	LIGHT
ARCH	ARCHITECTURAL	MATL	MATERIAL
ASPH	ASPHALT	MAX	MAXIMUM
AUD	AUDITORIUM	MECH	MECHANICAL
BD	BOARD	MEMB	MEMBRANE
BITUM	BITUMINOUS	MFR	MANUFACTURER
BLD	BUILDING	MIN	MINIMUM
BLOC	BLOCK	MISC	MISCELLANEOUS
BLKG	BLOCKING	MO	MASONRY OPENING
BM	BEAM	MR	MOISTURE RESISTANT
BOB	BOTTOM OF ROOF DECK	MTO	MORTAR
BOT	BOTTOM	MTL	METAL
CAB	CABINET	MUL	MULLION
CB	CATCH BASIN	N	NORTH
CEM	CEMENT	NC	NOT IN CONTRACT
CER	CERAMIC	NO	NUMBER
CI	CAST IRON	NOM	NOMINAL
CJ	CONTROL JOINT	NIS	NOT TO SCALE
CLAD	CLADDING	OC	ON CENTER
CLG	CEILING	OD	OUTSIDE DIAMETER
CLO	CLOSET	OCJ	OWNER FURNISHED CONTRACTOR INSTALLED
CLR	CLEAR	OFF	OFFICE
CO	CASED OPENING	OFI	OWNER FURNISHED OWNER INSTALLED
COL	COLUMN	OH	OPPOSITE HAND
COMP	COMPRESSIBLE	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONN	CONNECTION	OVHD	OVERHEAD
CONSTR	CONSTRUCTION	PART	PARTITION
CONT	CONTINUOUS	PC	PRECAST
CORR	CORRIDOR	PEP	PROCELAIN ENAMEL PANEL
CPT	CAPIT	PERF	PERFORATED
CT	CERAMIC TILE	PL	PLATE
CTR	CENTER	PLAS	PLASTER
CTSK	COUNTERSUNK	PLYWD	PLYWOOD
DBL	DOUBLE	POL	POLISHED
DEPT	DEPARTMENT	POLY	POLYETHYLENE
DET	DETAIL	PR	PRESSURE TREATED
DF	DRINKING FOUNTAIN	PTD	PAINTED
DIA	DIAMETER	QT	QUARRY TILE
DM	DIMENSION	R	RISER
DSP	DISPENSER	RAD	RADIUS
DN	DOWN	RCP	REFLECTED CEILING PLAN
DO	DOOR OPENING	RD	ROOF DRAIN
DR	DOOR	REF	REFERENCE
DS	DOWNSPOUT	RENF	REINFORCED
DSP	DRY STANDPIPE	REM	REMOVE
DWG	DRAWING	REOD	REQUIRED
DWR	DRAWER	RESIL	RESILIENT
E	EAST	REV	REVISION
EACH	EACH	RH	RIGHT HAND
EJ	EXPANSION JOINT	RM	ROOM
EL	ELEVATION	RO	ROUGH OPENING
ELEC	ELECTRICAL	RTU	ROOF TOP UNIT
ELEV	ELEVATOR	S	SOUTH
EMER	EMERGENCY	SAFB	SOUND ATTENUATION FIRE BLANKET
ENCL	ENCLOSURE	SCHED	SCHEDULE
EP	ELECTRICAL PANELBOARD	SECT	SECTION
EQ	EQUAL	SG	SOUND GASKET
EOPM	EQUIPMENT	SH	SHIELD
ESB	EXTERIOR SOFFIT BOARD	SHT	SHEET
EW	ELECTRIC WATER COOLER	SIM	SIMILAR
EXP	EXPANSION	SOH	SIMILAR OPPOSITE HAND
EXPO	EXPOSED	SPEC	SPECIFICATION
EXST	EXISTING	SO	SQUARE
EXT	EXTERIOR	SS	STAINLESS STEEL
FA	FIRE ALARM	STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FDC	FIRE DEPARTMENT CONNECTION	STOR	STORAGE
FDN	FOUNDATION	STRUCT	STRUCTURAL
FE	FIRE EXTINGUISHER	SUSP	SUSPENDED
FEC	FIRE EXTINGUISHER CABINET	SYM	SYMMETRICAL
FF	FINISH FLOOR	SYS	SYSTEM
FHC	FIRE HOSE CABINET	TEL	TELEPHONE
FIN	FINISH	THK	THICK
FIN	FINISH	TOC	TOP OF CONCRETE
FL	FLOOR	TOS	TOP OF STEEL
FLSH	FLASHING	TOW	TOP OF WALL
FLUOR	FLUORESCENT	TYP	TYPICAL
FM	FLOOR MAT	UNF	UNFINISHED
FOC	FACE OF CONCRETE	UNON	UNLESS OTHERWISE NOTED
FOF	FACE OF FINISH	VB	VAPOR BARRIER
FOS	FACE OF STUD	VCT	VINYL COMPOSITION TILE
FR	FIRE RATED	VEN	VENEER
FRP	FIBERGLASS REINFORCED	VERT	VERTICAL
FRPF	FIREPROOF	VEST	VESTIBULE
FRT	FIRE RETARDANT TREATED	VIF	VERIFY IN FIELD
FS	FULL SIZE	VWC	VINYL WALL COVERING
FT	FOOT OR FEET	W	WEST
FTG	FOOTING	WI	WITH
FUR	FURRING	WID	WITHOUT
FUT	FUTURE	WID	WOOD
GA	GALVE	WH	WALL HANG
GALV	GALVANIZED	WP	WATERPROOF
GC	GENERAL CONTRACTOR	WT	WEIGHT
GL	GLASS		
GLBK	GLASS BLOCK		
GND	GROUND		
GR	GRADE		
GRT	GRATE		
GWB	GYPSUM WALL BOARD		
GYP	GYPSUM		
HC	HOLLOW CORE		
HDCP	HANDICAPPED		

GENERAL ABBREVIATIONS

SHEET NO.	NAME
T.01	COVER SHEET
AD1.01	DEMOLITION PLANS
A1 - PLANS	
A1.01	FLOOR PLANS
A1 - RCP'S	
A1.11	REFLECTED CEILING PLANS
A1.2 - FINISH PLANS & SCHEDULES	
A1.21	FINISH PLANS & SCHEDULES
A4 - ENLARGED PLANS	
A4.01	ENLARGED PLANS
A5 - INT. ELEV.	
A5.01	INTERIOR ELEVATIONS
A7 - DETAILS	
A7.01	PLAN & SECTION DETAILS
A8 - DETAILS	
A8.11	DOOR SCHEDULES & DETAILS, PARTITION TYPES
MECHANICAL	
H4.01	HVAC BASIS OF DESIGN
H4.01	HVAC DUCT FLOOR PLAN
H4.01	HVAC SCHEDULES
H4.01	HVAC SCHEMATICS & DETAILS
H4.02	HVAC SCHEMATICS & DETAILS
PLUMBING	
P4.01	PLUMBING BASIS OF DESIGN
P4.01	PLUMBING UNDERSLAB PLAN
P4.01	PLUMBING FLOOR PLAN
P4.01	PLUMBING DEMO FLOOR PLAN
P4.01	PLUMBING SCHEDULES
P4.01	PLUMBING DETAILS
FIRE PROTECTION	
FP.01	FIRE PROTECTION BASIS OF DESIGN
FP.02	FIRE PROTECTION BASIS OF DESIGN
FP.1.01	FIRE PROTECTION FLOOR PLAN

SHEET LIST - CONSTRUCTION DOCUMENTS

SHEET NO.	NAME
FP.01	FIRE PROTECTION DETAILS
ELECTRICAL	
E1.00	ELECTRICAL LEGEND
E1.01	ELECTRICAL LIGHTING FLOOR PLAN
E2.01	ELECTRICAL POWER FLOOR PLAN
E3.01	ELECTRICAL PARTS PLAN
E4.01	ELECTRICAL POWER RISER DIAGRAM
E5.01	ELECTRICAL SCHEDULES
E5.02	ELECTRICAL SCHEDULES
E6.01	ELECTRICAL DETAILS
ED1.01	ELECTRICAL DEMOLITION FLOOR PLAN
FIRE ALARM	
FA.01	FIRE ALARM LEGEND AND DETAILS
FA.01	FIRE ALARM FLOOR PLAN
FA.01	FIRE ALARM RISER DIAGRAM
FA.01	FIRE ALARM DEMOLITION PLAN

SHEET LIST - CONSTRUCTION DOCUMENTS

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E5.02	ELECTRICAL SCHEDULES
E6.01	ELECTRICAL DETAILS
ED1.01	ELECTRICAL DEMOLITION FLOOR PLAN
FIRE ALARM	
FA.01	FIRE ALARM LEGEND AND DETAILS
FA.01	FIRE ALARM FLOOR PLAN
FA.01	FIRE ALARM RISER DIAGRAM
FA.01	FIRE ALARM DEMOLITION PLAN

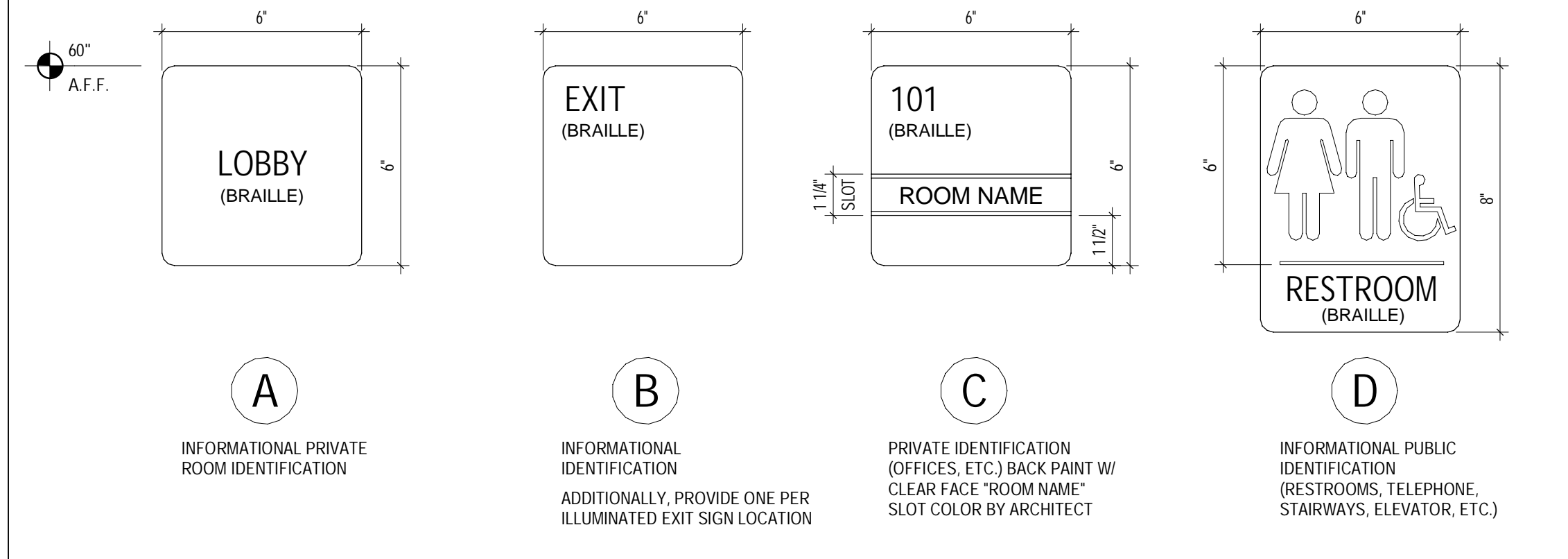
ROOM SIGNAGE GENERAL NOTES

1. SIGNAGE SCOPE TO BE VERIFIED IN WRITING AND APPROVED BY THE OWNER PRIOR TO SIGN CONSTRUCTION WITH A FULL DETAILED SCHEDULE OF ALL SIGNS TO BE SUPPLIED BY THE SIGN CONTRACTOR
 2. U.O.N. TOP OF SIGN TO BE 60" A.F.F.

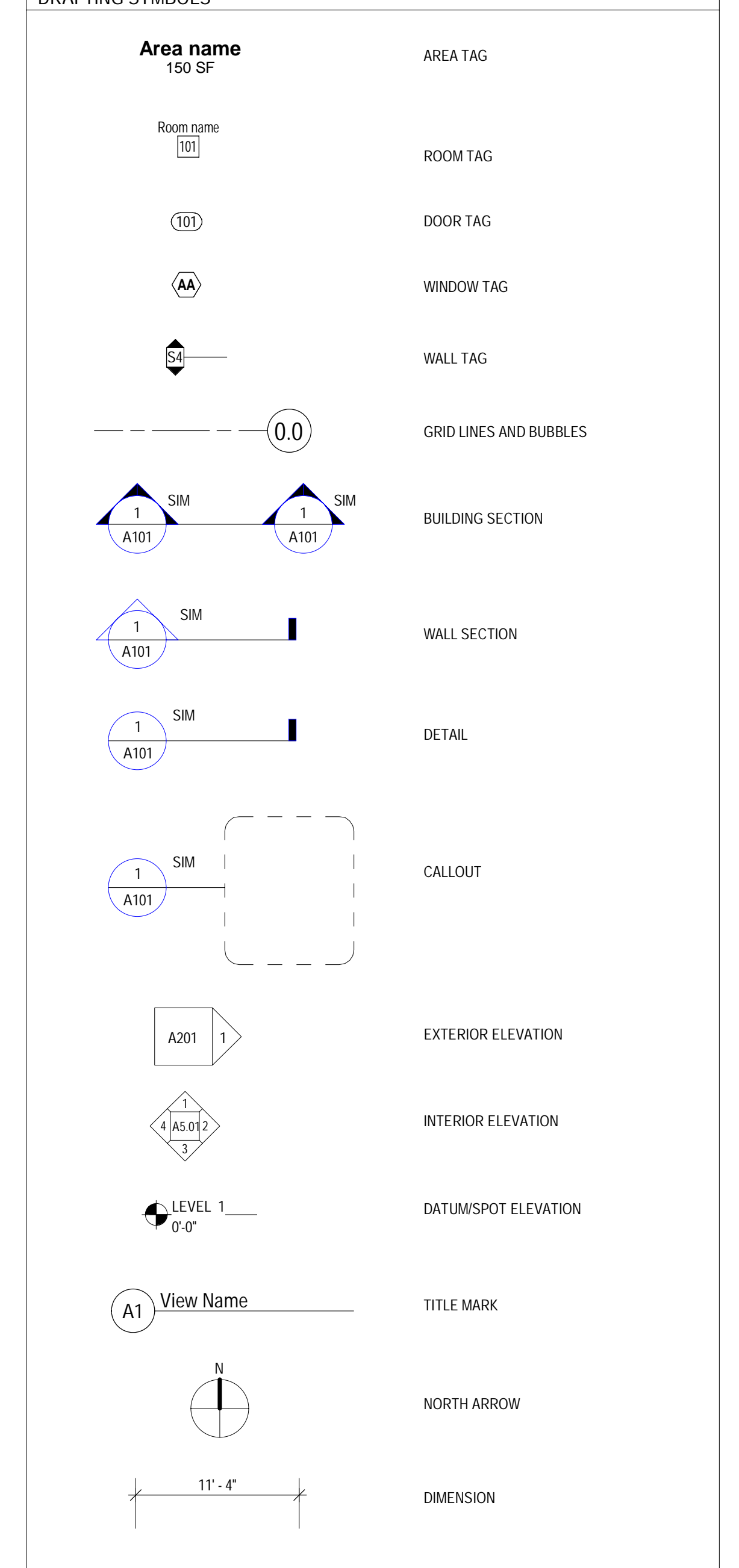
SIGN PANEL
 SIZE AS SHOWN
 MATERIALS ACRYLIC/ULTRA MATTE
 EDGES SQUARE
 CORNERS ROUND 3/8"
 COLORS BACKGROUND: AS SELECTED BY ARCHITECT
 COPY: CONTRASTING W/ BACKGROUND
 ROOM NAME AND NUMBER TO BE COORDINATED WITH DOOR SCHEDULE "SIGNAGE TEXT". BRAILLE TO CONTAIN BOTH ROOM NAME AND NUMBER

GRAPHICS
 APPLICATION APPLIED RAISED 1/32"
 TYPE STYLE HELVETICA
 COPY WEIGHT 1" UNLESS NOTED
 COPY HEIGHT 1" HIGH UNLESS NOTED
 MOUNTING TYPE VANDAL RESISTANT SCREW ATTACHED BACK PLATE
 LOCATION U.O.N. PROVIDE (1) SIGN PER INTERIOR DOORWAY AND (2) SIGNS FOR DOORS IN PATHS OF TRAVEL

SIGNAGE TYPES



DRAFTING SYMBOLS



JSA
 273 CORPORATE DRIVE
 PORTSMOUTH, NH 03801
 T 603.436.2551
 www.jsainc.com

MEP FP
 CSI Engineering LLC
 125 Aviation Ave. Suite 4
 Portsmouth, NH 03801
 Tel # 603-319-8244

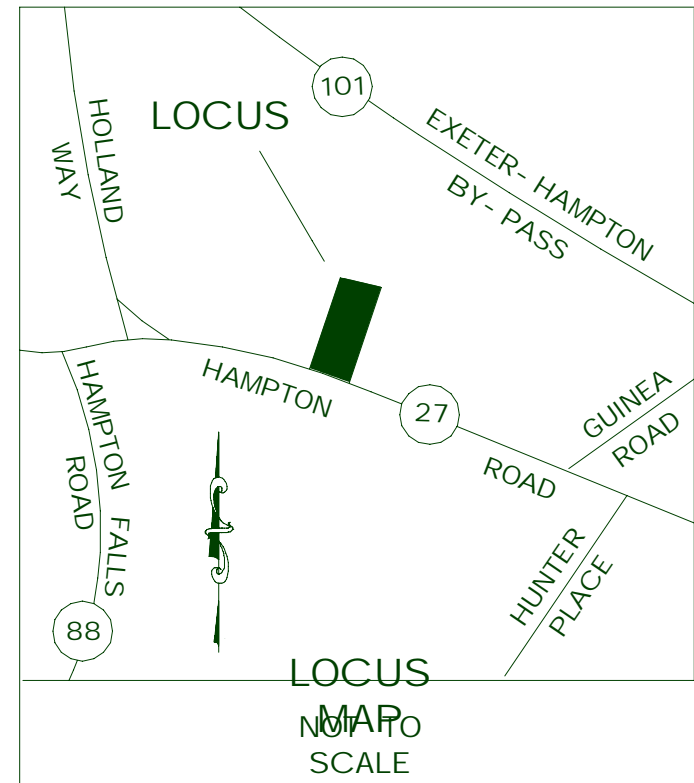
EXETER PARKS AND RECREATION
 10 HAMPTON ROAD
 EXETER NH 03833
 RENOVATION

Scale: As indicated
 Date: 3.11.2024
 Project Number: 23022

REVISIONS		
NO.	DESCRIPTION	DATE

SCHEMATIC DESIGN
 DRAWING INDEX,
 NOTES AND
 SYMBOLS

T.02



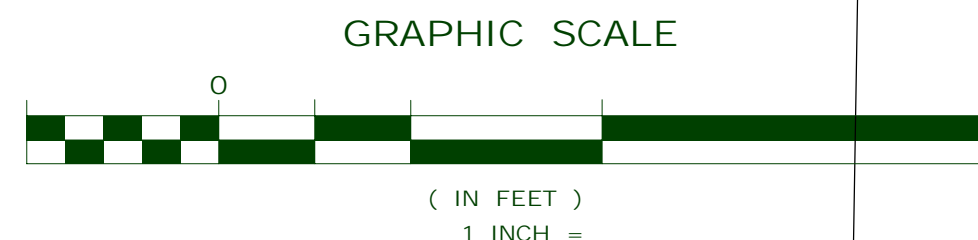
NOTES:

- 1) THIS PARCEL DOES NOT LIE WITHIN A FLOOD ZONE. SEE FIRM COMMUNITY PANEL 330130 0406 E. EFFECTIVE DATE: MAY 17, 2005.
- 2) THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND, HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- 3) THE LOCATIONS OF THE UNDERGROUND SERVICE LINES ON THIS PARCEL ARE APPROXIMATE ONLY SEE LEGEND BELOW.
- 4) VERTICAL DATUM USED IS BASED ON N.G.V.D. 1929 ELEVATIONS AS SHOWN ARE TAKEN FROM THE TOWN OF EXETER SEWER PLANS.
- 5) "THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLANDS REGULATIONS, INCLUDING ANY PERMITTING AND SETBACKS REQUIRED UNDER THESE REGULATIONS."

UTILITIES NOTE

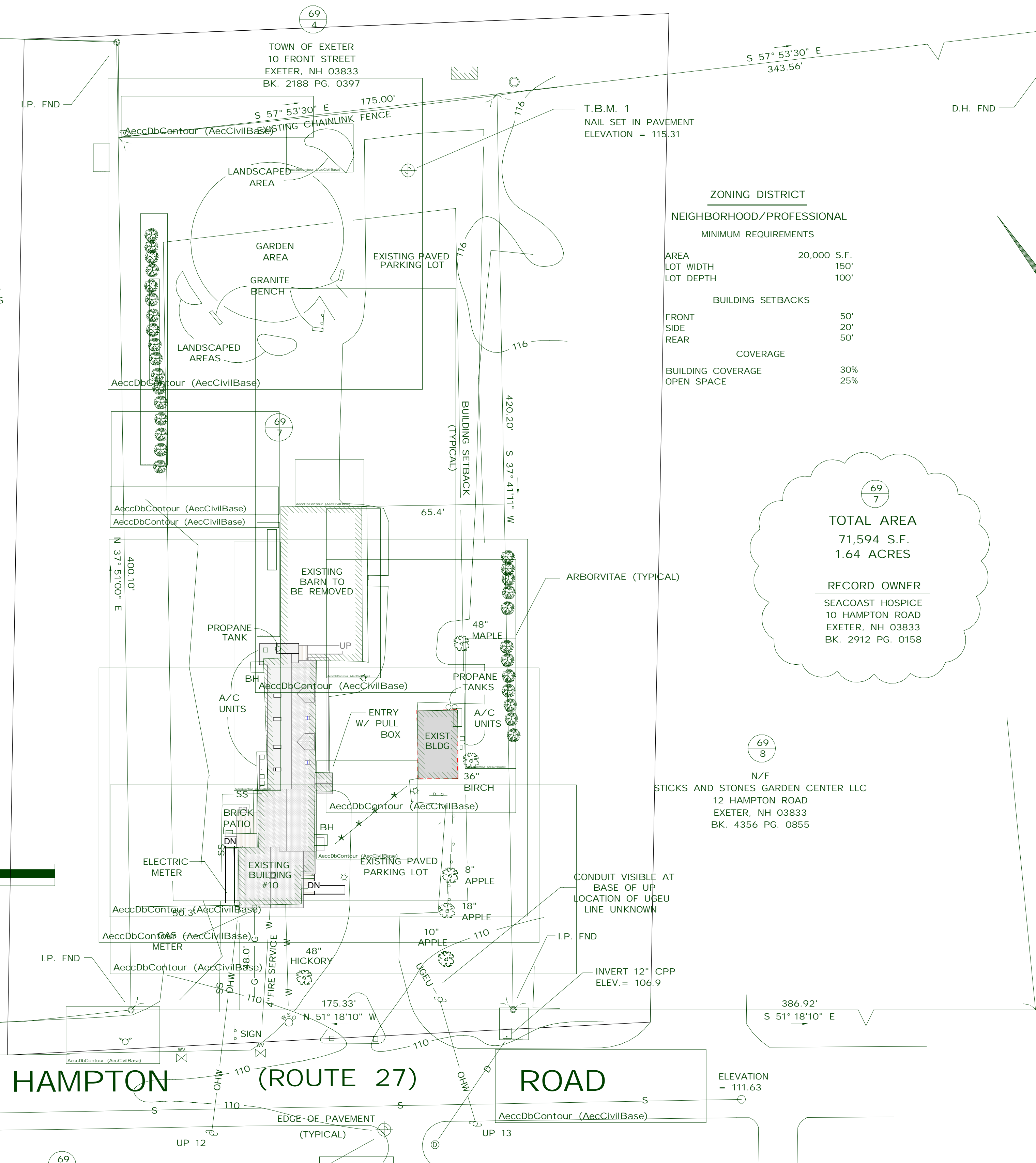
THE LOCATION OF UTILITIES SHOWN HEREON IS BASED ON INFORMATION PROVIDED BY OTHERS, AND WHERE POSSIBLE FROM MEASUREMENTS TAKEN IN THE FIELD, AND ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST MARKING OF UNDERGROUND UTILITIES. MILLENNIUM ENGINEERING, INC., ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED DIRECTLY OR INDIRECTLY RESULTING THEREFROM.

69
6
N/F
DJB REALTY LLC
C/O PROPERTY VALUATION SE
14400 METCALF
OVERLAND PARK, KS 66223
BK. 3199 PG. 1168



LEGEND

- D.H. DRILL HOLE
- I.P. IRON PIPE
- I ROD IRON ROD FOUND
- FND. FOUND
- ASSESSORS MAP AND PARCEL
- ⊕ T.B.M. TEMPORARY BENCH MARK
- SEWER MAN HOLE
- HYDRANT
- WATER SHUT OFF
- WELL
- CB CATCH BASIN
- ☆ LAMP POST
- ⊙ DRAIN MAN HOLE
- ⊙ BH BULKHEAD
- OHW OVER HEAD WIRE
- UGEU APPROXIMATE UNDERGROUND ELECTRIC UTILITY POLE
- SS APPROXIMATE SEWER SERVICE
- WS APPROXIMATE WATER SERVICE
- G APPROXIMATE GAS SERVICE
- * — WATER, SEWER AND UGEU SERVICES ALL WITHIN SAME TRENCH, AS PER SEACOAST HOSPICE



69
7
TOTAL AREA
71,594 S.F.
1.64 ACRES

RECORD OWNER
SEACOAST HOSPICE
10 HAMPTON ROAD
EXETER, NH 03833
BK. 2912 PG. 0158

69
8
N/F
STICKS AND STONES GARDEN CENTER LLC
12 HAMPTON ROAD
EXETER, NH 03833
BK. 4356 PG. 0855

69
30
N/F
WIRE BENDER REALTY TRUST
RICHARD W. MILLER II (TRUSTEE)
11 HAMPTON ROAD
EXETER, NH 03833
BK. 4097 PG. 1937

69
29
MILLENNIUM ENGINEERING, INC.
62 ELM STREET
SALISBURY, MA 01952
BK. 3786 PG. 1700

ZONING DISTRICT
NEIGHBORHOOD/PROFESSIONAL

MINIMUM REQUIREMENTS

AREA	20,000 S.F.
LOT WIDTH	150'
LOT DEPTH	100'
BUILDING SETBACKS	
FRONT	50'
SIDE	20'
REAR	50'
COVERAGE	
BUILDING COVERAGE	30%
OPEN SPACE	25%

PLAN REFERENCES

- 1) D- 8923 "LOT LINE REVISION EXETER, NH FOR CHARLES C. KNIBBS" DATE: MAY 1977 SCALE: 1"=40' BY: JOHN W. DURGIN
- 2) D- 24675 "ALTA/ACSM LAND TITLE SURVEY 8 HAMPTON ROAD- ROUTE 101C FOR WILLIAM E. GILMORE, JR. & WILLIAM E. GILMORE, JR. TRUST" DATE: MAY 1996 SCALE: 1"=40' BY: NORWAY PLAINS ASSOCIATES, INC.

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS'S RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN NOVEMBER 2007.

THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.

LICENSED LAND SURVEYOR DATE

SITE PLAN
EXETER, N.H.

EXISTING SHOWING
10 HAMPTON ROAD EXETER, NH
(ASSESSORS MAP 87 LOT 23)
PREPARED FOR
SEACOAST HOSPICE EXETER, NH 03833

MILLENNIUM ENGINEERING INC.
P. ENGINEERS AND LAND SURVEYORS NH
PHONE: (603) 788-8928 FAX: (603) 788-8928
772-0689
CALC. BY: B.S.C.
BY: H.H.B.

SCALE: 1" = 30'-0"
DATE: NOV. 26, 2007

PROJECT: P07987

NO.	DATE	DESCRIPTION	BY

Scale: 1" = 30'-0"
Date: 3.11.2024
Project Number: 23022

REVISIONS		
NO.	DESCRIPTION	DATE

SCHEMATIC DESIGN
OVERALL SITE

A1.00

Robert Cummings & Associates, PLLC

379 Amherst Street PMB 209 Nashua, NH 03063
(603) 496-3933 bcummings631@gmail.com

December 18, 2023

Mr. Greg Bisson, Director
Exeter Parks and Recreation
32 Court Street
Exeter, NH 03833

Dear Mr. Bisson

Re: Professional Fire Protection Engineering Services

This letter documents my code review for the proposed renovation of an existing commercial building into a Community Center at 10 Hampton Road in Exeter, New Hampshire. The code review is based upon preliminary plans by JSA and information provided by your office with respect to the proposed use for the building.

Code Basis

The main applicable codes used for the review are IBC 2018, IEBC 2018, NFPA 101-2018, and NFPA 1-2018.

Existing Building

The existing building is a commercial two story wood frame structure. The proposed use is a community center for the town of Exeter, New Hampshire. It is my understanding that as a result of walk throughs of the building and reviews to date with the local building and fire departments they have agreed that the proposed building and use can be classified as business based upon the relatively small spaces identified for group activities, assembly. The existing building has automatic sprinkler protection throughout and fire alarm coverage throughout the building.

The proposed changes to the building under the IEBC 2018 are considered a level 2 renovation. In summary, the new construction associated with the renovation are required to meet the current code but the remainder of the existing building is allowed to remain as is without any change required.

Building Use

The building use is classified as business (IBC 2018 sections 303.1.2 and 304; NFPA 101-2018 section 6.1.2.1)

Exeter Park and Rec - 10 Hampton Rd Code Review

Existing Building Renovation
Fire Protection Services Proposal
December 18, 2023

Construction Type

The existing building is unprotected wood frame construction. This is classified as Type VB per IBC 2018 and Type V(000) per NFPA 101-2018. The exit stairs and vertical shafts in the building are required to have 1-hour fire resistance rating. The building is allowed to have two open communicating levels without enclosure (IBC 2018 section 404; NFPA 101-2018 section 8.6.6). All other structural members and framing do not require a fire resistance rating. The exit access corridors, where provided, are not required to have a fire resistance rating. (IBC 2018 section 1028; NFPA 101-2018 chapter 39).

Building Height and Area

The existing building is 2 stories in height with a measured height of 18 feet above grade at the roof eaves. The allowable building height is three stories and 40 feet (IBC 2018 section 504.3 and 4).

The actual area for the first floor is 3,166 sq.ft. and the second floor is 2,805 sq.ft. resulting in a total building area of 5,971sq.ft. The allowable building area is 27,000 sq.ft. per floor based upon business use, Type VB construction, and sprinkler protection throughout the building (IBC 2018 Table 506).

Interior Finish

Exit stair and ramps are required to have a class II rating (75 flame spread, 450 smoke development and all other areas are required to meet class III rating (200 flame spread, 450 smoke development). (IBC 2018 section 803; NFPA 101-2018 section 39.3)

Egress System

Two exits are required from each level of the building. (IBC 2018 section 1011; NFPA 101-2018 section 39.2.4) The front farmhouse stair will be reconstructed to meet the criteria listed here for an exit stair and a new exit stair will be added to the building. Both exits will discharge to the exterior at grade. The open stair at the center of the building is not considered an exit and is not counted in the capacity listed below. The two exits are required to be remote with a minimum distance of 25% of the measured diagonal for the building. (IBC 2018 section 1011; NFPA 101-2018 section 7.5)

The minimum required width for the exit stair is 44 inches. The entrance/exit door for the stair shall open in the direction of egress travel, be at least 36 inches wide, have automatic closer, and positive latching hardware. (IBC 2018 section 1011.2; NFPA 101-2018 section 39.2)

The maximum travel distance is 300 feet. The maximum dead end travel condition is 75 feet and common path of travel conditions are limited to 50 feet. (IBC 2018 sections 1017.2, 1020.4, and 1029.8; NFPA 101-2018 section 39.2).

The exit capacity is based upon 0.2 inches/person for exit stairs and ramps and 0.15 inches/person for horizontal travel and doors. (IBC 2018 section 1005.3; NFPA 101-2018

Existing Building Renovation
Fire Protection Services Proposal
December 18, 2023

chapter 7). The exit capacity for the first floor is 720 people based upon three doors (240 people/door). The exit capacity for the second floor is 440 people based upon two 44 inch wide exit stairs (220 people/stair). The projected population for the first floor is 128 people and the second floor is 153 people, resulting in a total population of 281 people. This occupant load is well within the egress capacity for the building. (IBC 2018 Table 1004.5; NFPA 101-2018 Table 7.3.1.2).

Emergency lighting is required along the entire egress path at a level of 1 footcandle. Additional emergency lights are required outside the building at the discharge point for each exit from the building. Exit signs are required at all exit and directional signage is required where at least two exit signs are not visible from any point in the building. (IBC 2018 section 1008; NFPA 101-2018 section 7.1.0)

Fire Alarm and Detection

A fire alarm system is required to monitor the automatic sprinkler system and to provide notification throughout the building and for responding fire department. Automatic detection is not required for the building based upon the automatic sprinkler system provided throughout the building. Note, the existing building has a fire alarm system which includes manual pull stations at each exit (new pull stations are recommended at the entrance to the new exit stair) and smoke detection throughout the common areas of the building (This is protection beyond the minimum required and will remain in service). (IBC 2018 section 907; NFPA 101-2018 section 38.3.4)

Fire Suppression

Automatic sprinkler coverage throughout the building is required to take credit for the features identified above with respect to egress and open communicating levels. (IBC 2018 section 504.3 and 506.2; NFPA101-2018 section 8.6.6)

Smoke Control

Smoke control is not required for this two story business use building. The two communicating levels are open and do not require smoke control. (IBC 2018 section 404; NFPA 101 2018 section 8.6.6).

Plumbing Fixture Requirements

The plumbing fixture counts are based upon IBC 2018 Table 2029.1 and The International Plumbing Code Table 403.1)

Water Closets: same for male and female occupants: 1 per first 25 people and 1 additional water closet of each additional 50 people (or fraction of).
Lavatories: same for male and female occupants: 1 per first 40 people and 1 additional lavatory for each additional 80 people (or fraction of).
Service Sinks: 1
Drinking Fountains: 1 per 100 people and at least one per floor.

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Accessibility

Existing features of the building may remain as is except for those areas that are to be renovated, these areas shall be accessible. All exits and exit access are required to be accessible and at least 2/3 of the entrances to the building are required to be accessible.

This building has multiple exits but only one entrance. The main entrance will be accessible. The three exit doors at the first floor and the discharge from the two exit stairs leading down from the second floor will be accessible.

Access to the second floor will be accessible through the new lift proposed for the building, located near the main entrance to the building.

There will be at least one accessible bathroom facility located on each floor in the building.

Summary

It is our opinion the proposed building will meet the code requirements as described above based upon the preliminary plans provided and the additional information provided with respect to the intended use and features existing and proposed for the building.

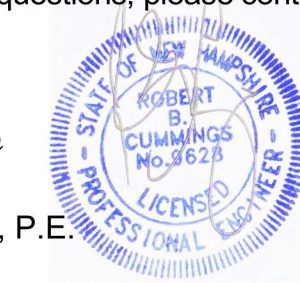
Note the final building layout and arrangement may vary from the information stated above requiring a revision to this letter once the final layout is determined.

Should you have any questions, please contact me at (603) 496-3933.

Submitted by,

R. B. Cummings

Robert B. Cummings, P.E.
NH FPE No. 9628



LIFE SAFETY LEGEND	
NOTE: SEE ELECTRICAL DRAWINGS FOR EMERGENCY EXIT SIGNAGE	
	EXISTING WALL
	NON-RATED WALL
	1 HOUR FIRE BARRIER
	TRAVEL DISTANCE
	TRAVEL PATH ID
	DOOR RATING IN MINUTES
	FIRE EXTINGUISHER CABINET
	EXISTING FIRE EXTINGUISHER CABINET TO REMAIN

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EXETER PARKS AND RECREATION
10 HAMPTON ROAD
EXETER NH 03833

RENOVATION

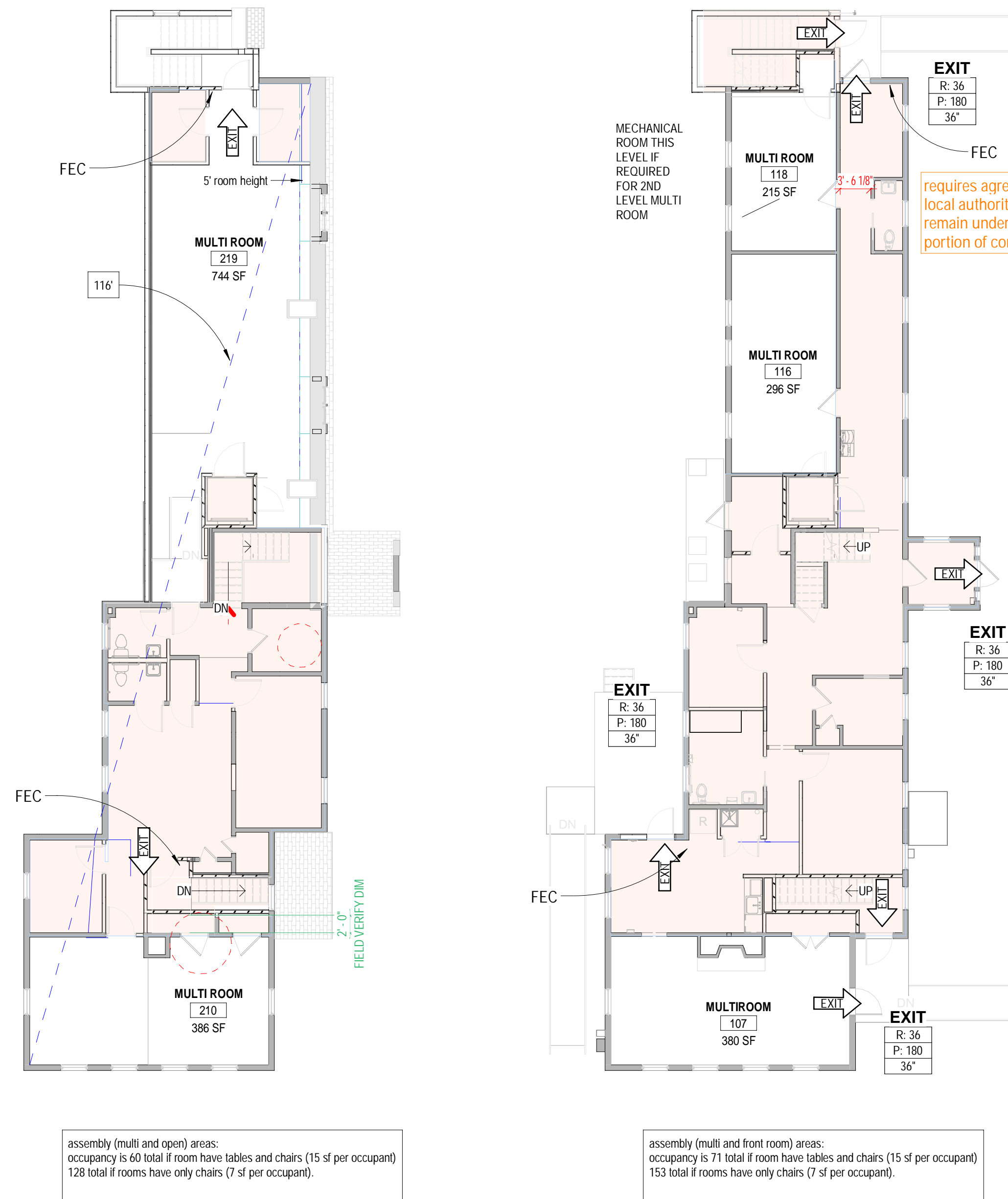
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Project Number: 23022

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SCHEMATIC DESIGN

LIFE SAFETY DIAGRAMS & CODE SUMMARY

LS.01

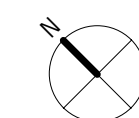
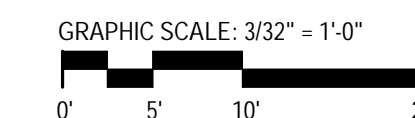


assembly (multi and open) areas:
occupancy is 60 total if room have tables and chairs (15 sf per occupant)
128 total if rooms have only chairs (7 sf per occupant).

assembly (multi and front room) areas:
occupancy is 71 total if room have tables and chairs (15 sf per occupant)
153 total if rooms have only chairs (7 sf per occupant).

3 LEVEL 2 FLOOR PLAN
3/32" = 1'-0"

2 LEVEL 1 - LIFESAFETY PLAN
3/32" = 1'-0"



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EXETER PARKS AND
RECREATION
10 HAMPTON ROAD
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RENOVATION

GENERAL DEMO NOTES

- SEE SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS AND SALVAGING OF EXISTING ITEMS FOR OWNER'S USE.
- SEE MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL SHEETS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- THE G.C. SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL BUILDING AND SITE DAMAGE CAUSED BY DEMOLITION AND NEW CONSTRUCTION.
- THE G.C. SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, CONDITIONS, MATERIALS AND CLEARANCE DISCREPANCIES. CONFLICTS SHALL BE REPORTED TO THE ARCHITECT & OWNER.
- THE G.C. SHALL REPORT ALL EXISTING DAMAGE AND DETERIORATION TO THE OWNER AND ARCHITECT IN WRITING PRIOR TO BEGINNING OF DEMOLITION AND NEW CONSTRUCTION.
- THE G.C. SHALL REFER TO THE DRAWINGS FOR NEW CONSTRUCTION AND COORDINATE/VERIFY THE EXACT REQUIRED EXTENTS OF DEMOLITION. CONFLICTS AND DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- THE G.C. SHALL CONTACT THE OWNER AND COORDINATE ALL EXISTING WARRANTY ISSUES PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
- THE G.C. SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE OWNER PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
- REMOVE ALL EXISTING FLOOR FINISHES (CARPET, VCT, CERAMIC TILE, ETC.) IN ALL ROOMS AND AREAS WHERE NEW FLOOR FINISHES ARE INDICATED - SEE PLANS AND FINISH SCHEDULE. REMOVE ALL GLUE AND GROUT RESIDUE. PATCH, REPAIR AND PREP FLOORS AS REQUIRED FOR NEW CONSTRUCTION AND PROPER INSTALLATION OF NEW FLOOR FINISHES.
- CONDUCT MISCELLANEOUS DEMOLITION AS REQUIRED ON ALL SURFACES TO REMOVE ITEMS SUCH AS PROTRUDING NAILS, SCREWS, HANGING HOOKS, FASTENERS, TAPE AND WALLPAPER. PATCH, REPAIR AND PREP SURFACES AS REQUIRED FOR NEW FINISHES. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- GENERAL NOTE FOR ALL WALLS TO REMAIN. REMOVE ALL EXISTING WALL BASE & ADHESIVE. U.O.N. PATCH, REPAIR AND PREP WALLS FOR NEW INSTALLATION.
- G.C. SHALL REMOVE WALL-MOUNTED BULLETIN BOARDS, SIGNAGE, ART WORK, MARKER BOARDS, AND OTHER SIMILAR MISCELLANEOUS ITEMS.
- CUT EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING AND ELECTRICAL WORK. SEE PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS AND ADDITIONAL INFORMATION.
- G.C. SHALL CAREFULLY REVIEW DEMOLITION REQUIREMENTS, INCLUDING MEP DEMOLITION, THAT MAY EXTEND INTO AREAS OUTSIDE OF THE SCOPE OF THE DESIGNATED SCOPE OF WORK ZONES. G.C. SHALL COORDINATE ACCESS INTO SUCH SPACES WITH OWNER PRIOR TO CONDUCTING THE WORK. PATCH, REPAIR AND RESTORE ANY DAMAGE TO AS-FOUND CONDITION.
- PATCH AND CAP ANY HOLES AND PENETRATIONS IN ROOF AND EXTERIOR WALLS WEATHER-TIGHT AND VERMIN-PROOF. PROVIDE INSULATION ON CAPS TO AVOID CONDENSATION.
- TERMINATE AND CAP ALL REMOVED PLUMBING AND ELECTRICAL CONNECTIONS PER CODE.

DEMOLITION LEGEND

- BUILDING ELEMENT TO BE REMOVED
- EXISTING WALL TO REMAIN
- DOOR TAG. SEE DOOR SCHEDULE FOR DOOR SALVAGE DETAILS
- DEMOLITION KEYNOTE TAG

DEMOLITION KEYNOTES

- REMOVE CASEWORK & ASSOCIATED PLUMBING COMPLETE - (store for re-use as directed by owner, typ. all demolition items)
- REMOVE PLUMBING FIXTURE COMPLETE
- REMOVE DOOR - FRAME TO REMAIN
- REMOVE EXISTING WALL COMPLETE
- REMOVE DOOR & FRAME COMPLETE
- REMOVE FLOOR TO ACCOMMODATE NEW
- REMOVE/ MODIFY STAIR
- REMOVE WINDOW AND FRAME
- REMOVE CONCRETE LANDING AND STEPS
- REMOVE/ MODIFY ROOF/ CEILING
- REMOVE/ MODIFY RADIATOR
- REMOVE RAMP

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SCHEMATIC DESIGN
DEMOLITION
PLANS

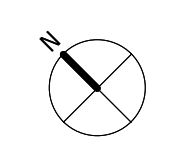
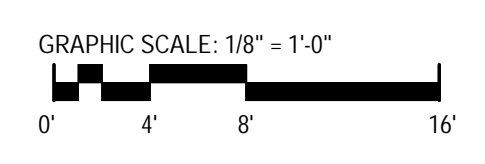
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3 LEVEL 2 DEMOLITION PLAN
1/8" = 1'-0"

2 LEVEL 1 DEMOLITION PLAN
1/8" = 1'-0"



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SCHEMATIC DESIGN
FLOOR PLANS

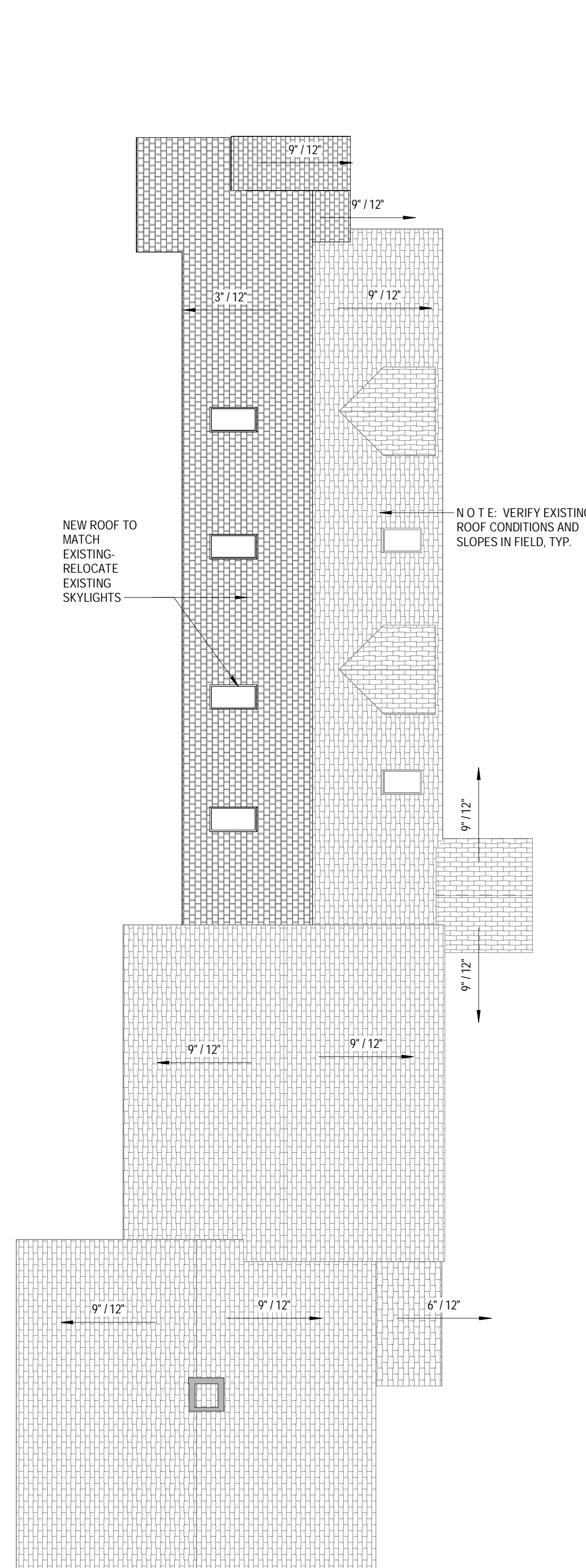
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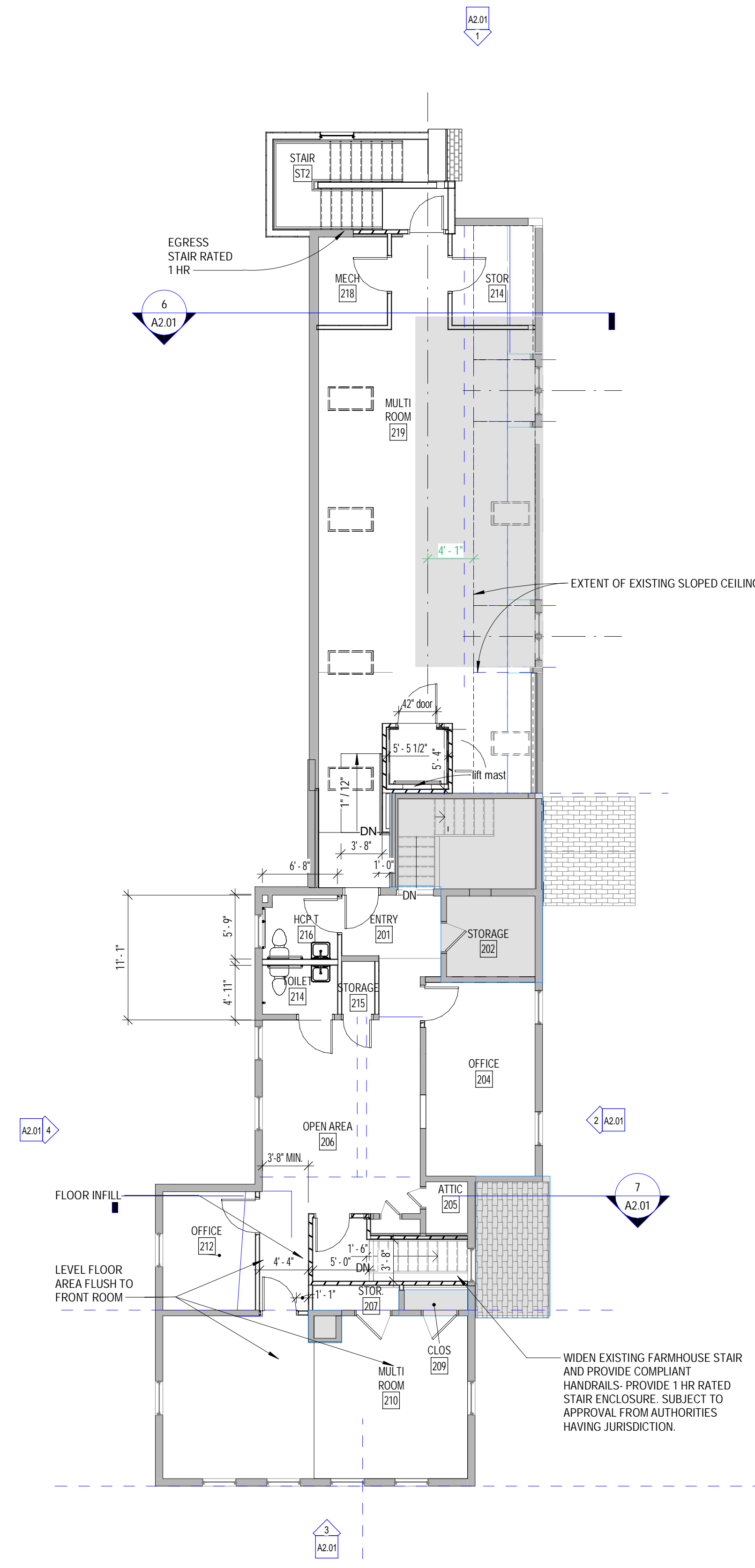
PLAN KEYNOTES	
1	AUTO DOOR OPEN BUTTON
2	
3	
4	
5	

PLAN LEGEND	
	NEW WALL. SEE LS.01 FOR RATINGS
	EXISTING WALL TO REMAIN. MAINTAIN EXISTING RATINGS
	NEW DOOR
	EXISTING DOOR TO REMAIN
	KEYNOTE TAG
	EQUIPMENT & SPECIALTY ITEM TAG
	DOOR TAG
	NOT IN PROJECT SCOPE

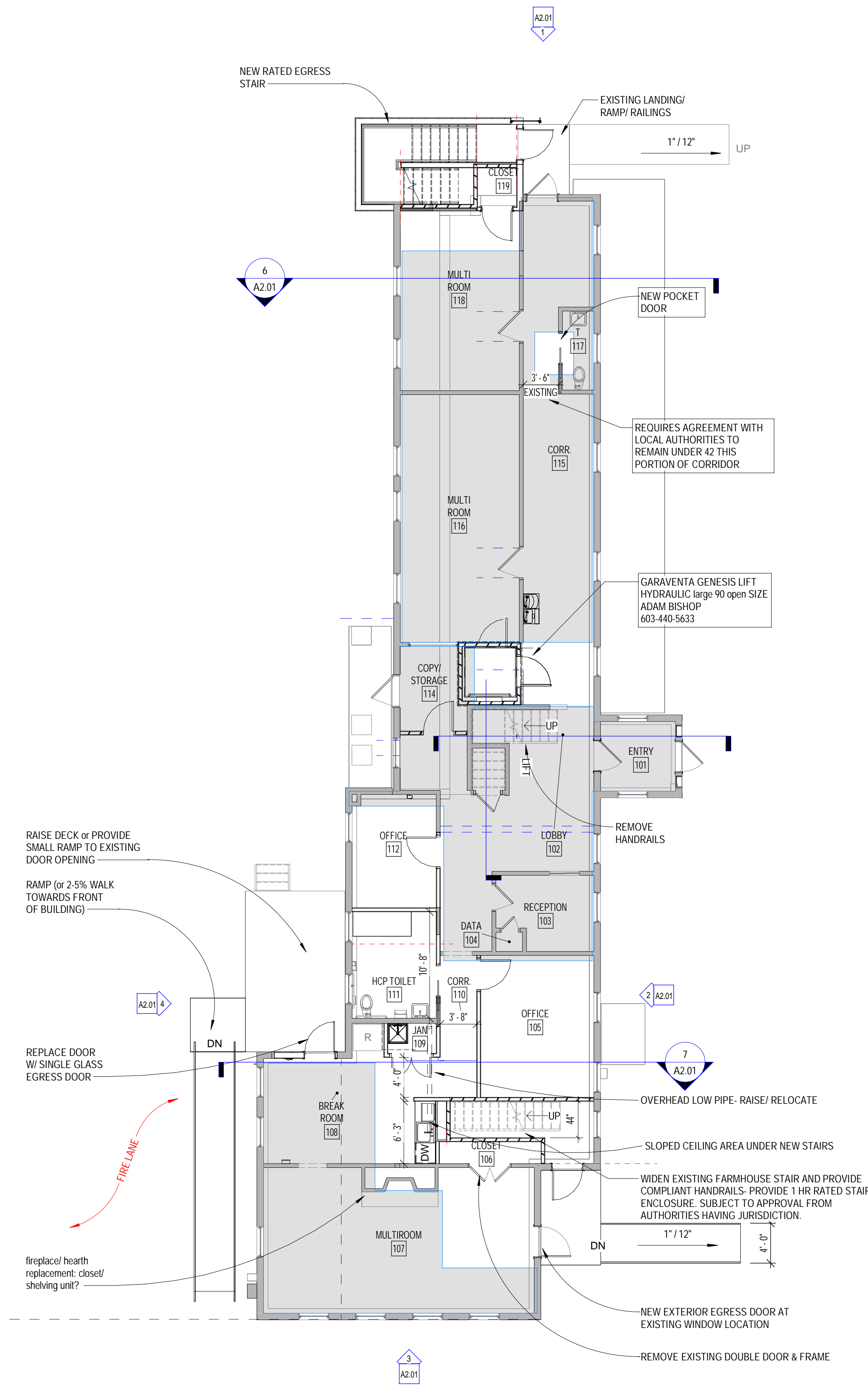
GENERAL PLAN NOTES	
1.	PLAN LAYOUTS ARE BASED ON EXISTING PLANS AVAILABLE AND FIELD OBSERVATIONS OF AREAS IN SCOPE. DIMENSIONS OF EXISTING CONDITIONS ARE TO BE USED AS ROUGH GUIDELINES ONLY.
2.	GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT IF CRITICAL FIELD CONDITIONS NOTED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS.
3.	CIVIL AND LANDSCAPING WORK IS BY OTHERS. COORDINATE WITH OWNER.
4.	DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD U.N.O.
5.	ALL DOORS SHALL BE INSTALLED WITH HINGED SIDE OF FINISHED OPENING 4" FROM ADJACENT WALL OR CENTERED WITHIN WALL, UNLESS NOTED OTHERWISE.
6.	ALL DOORS INTENDED FOR PASSAGE MUST MEET ACCESSIBILITY MANEUVERING CLEARANCES.
7.	REFER TO A4 SERIES SHEETS FOR ENLARGED PLANS.



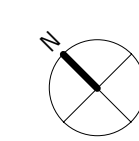
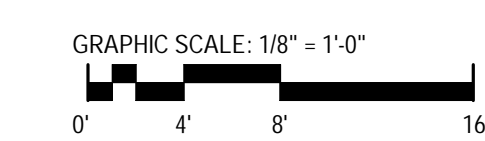
3 ROOF
1/8" = 1'-0"



2 LEVEL 2 FLOOR PLAN
1/8" = 1'-0"



1 LEVEL 1 FLOOR PLAN
1/8" = 1'-0"



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